

# **Residential Design Guidelines Village of Elwood, Illinois**

## **1. PURPOSE**

The Village of Elwood Comprehensive Plan provides that single-family housing will be one of the largest land uses within the Village. Therefore, it is the policy of the Village that all new developments reflect the highest quality of design, and promote the Village's character goals through good land planning, landscaping, and architectural design. The Village desires to have beautiful and well designed streetscapes, green areas, and parks as well as dwellings that are of good architectural design and reflect a sense of quality and sustainability. The design guidelines set forth herein are intended to provide direction for all residential developments, insuring they reflect the Village's vision and standards.

## **2. SITE PLANNING STANDARDS**

- ✚ Residential developments should provide site plans that place a strong emphasis on the relationship between streets, buildings, open spaces, entry features and landscaping. Following are recommended guidelines for the preparation of residential site plans.

### **A. Lot Sizes and Densities**

- ✚ Residential developments should be planned and designed to follow the village's standards for lot sizes and densities as established in the zoning ordinance and comprehensive plan. Single-family lots should be a minimum of 10,000 square feet, although larger lots are encouraged. Lots smaller than 10,000 square feet are discouraged.

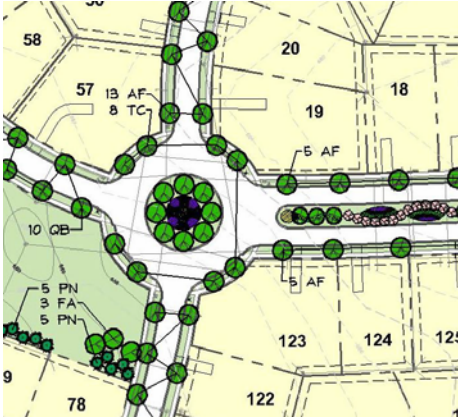
### **B. Entry Features**

- ✚ All Neighborhoods should provide distinctive entry features that incorporate design features such as masonry sign or wall elements, gatehouses, heavily landscape areas, paver crosswalks, paver corner details, or decorative fence elements.
- ✚ When possible, lakes should be incorporated into the design of entry features and placed in a manner to create attractive vistas from adjoining roads.



### C. Boulevards, Round-Abouts, Islands

- All neighborhoods should provide for street boulevards at entrances and other strategic points of interest within the land plan. Boulevards or other landscaped island types should be used to break the monotony of long residential blocks. The planting area within a boulevard should be a minimum of 20 feet.



- Cul-de-sacs should provide for a center landscape island.
- The use of round-abouts or other unique landscaped island features is encouraged within the street system. These features create terminal vista features, calm traffic, and enhance the streetscape.

### D. Perimeter and Through Lot Landscaping



- A minimum twenty five foot (25') landscape buffer shall be provided along the perimeter lines of any neighborhood when such line abuts a public street. Planting plans shall take into account the use proposed within the neighborhood either increasing the density of plantings when residential lots back to a perimeter road or controlling the density of plantings when ponds or other desirable open spaces about the perimeter road.
- A minimum twenty five foot (25') landscape buffer shall be provided along all through lots within a neighborhood.

### E. Parks and Open Spaces

- All developments shall make adequate provisions for useable open spaces in conformance with the park planning guidelines of the Village. Parks should be centrally located within neighborhoods and incorporated into land plans as focal points.



## **F. Detention ponds**

- ✚ Ponds should be incorporated as focal features within a development. Ponds may be a focal feature at a neighborhood entrance, alongside an interior road, or on key vista lines within the neighborhood.
- ✚ Ponds should be designed to look as natural as possible and incorporate other site design features such as benches and overlook areas.



## **G. Streets**

- ✚ Long, uninterrupted streets should be avoided. Shorter street segments connected by gentle curves or 90 degree turns are preferred. The use of “T” intersections is encouraged to slow traffic and reduce street length.



- ✚ Terminal Vistas should be provided whenever possible. Streets should be planned so that their alignment produces terminal vistas of open space and landscape elements such as parks, water features or other designed spaces.
- ✚ Streets should be interconnected between neighborhoods when possible.

## **H. Trails**

- ✚ A system of trails should be developed through all neighborhoods.
- ✚ Trails should be incorporated in public and private open spaces when available.
- ✚ Trails in lieu of sidewalks may be recommended along various collector and arterial streets throughout the Village.
- ✚ Trails should form internal loops and not come to dead-ends.
- ✚ Trail design should be meandering when possible and relate to other site features such as play areas, benches, gazebos, or overlooks.



### 3. HOME PLACEMENT AND ORIENTATION

The placement and orientation of homes is an important consideration. Home placement can maintain attractive streetscapes, protect property values, establish desirable aesthetic conditions, and create overall better neighborhoods.

- ✚ Single-family homes should have a strong orientation to the street. Primary entrances to homes should be located in the front of the house oriented to the public way.
- ✚ Homes and buildings should be positioned in a manner that preserves views and privacy of others.
- ✚ Structures and landscaping should be placed to respect the privacy of neighbors, and minimizes obstruction of views from neighboring properties.
- ✚ Home placement and orientation should minimize the visual impact of garages as they relate to the street. Side load garages or recessed front load garages should be utilized wherever possible.
- ✚ When residential development is adjacent to non residential uses or other potentially negative impacts, larger setbacks and additional screening should be utilized.
- ✚ Conservation design techniques should be used to preserve natural resources present on development sites.
- ✚ Townhomes and other attached single-family units are encouraged to be rear loaded with strong architectural elements that define the non-vehicular portions of the unit. Courtyard homes and other styles of attached single-family that minimize the number of garages fronting public streets are encouraged.

### 4. HOME DESIGN STANDARDS

#### A. Minimum Size, Bulk and Mass

The Village desires to provide a variety of housing types and lifestyle opportunities in the community as establishes in the Comprehensive Plan. Minimum standards however are necessary to ensure that homes constructed in the Village are of a quality and standard which enhances the community.

- ✚ The minimum size and average size of homes should be as follows:

HOME TYPE	MINIMUM SIZE RANCH STYLE	MINIMUM SIZE NON-RANCH STYLE	AVERAGE SIZE
Attached Residential Unit	1,100 S.F.	1,100 S.F.	1,400 S.F.
Villa or Age Restricted Unit	1,100 S.F.	1,300 S.F.	1,400 S.F.
Detached Single Family			
Minimum Lot Size Less than 12,000	1,600 S.F.	2,200 S.F.	None Required
Minimum Lot Size 12,000 s.f – 15,000 s.f.	1,800 S.F.	2,400 S.F.	None Required
Minimum Lot Size 15,000 s.f. or Greater	2,200 S.F.	2,600 S.F.	None Required

- ✚ Minimum home sizes are determined by the habitable floor area measured to the outside of the frame walls and does not include basements, garages or exterior porches.
- ✚ The height of proposed homes should be appropriate in the context of other neighboring homes, whether existing or proposed. Sudden and dramatic height changes in the landscape should be avoided. Height restrictions shall be as established in the Village of Elwood Zoning Ordinance.
- ✚ Building mass should be visually reduced and softened by the use of a variety of design techniques such as:
  - Horizontal Banding and design features
  - Appropriately scaled and patterned window placements
  - The minimization of “blank” walls
  - Roofline changes, roof type variety, roof gables and dormers
  - The incorporation of chimneys
  - Plane Changes and articulations on all sides of the structure
  - Front porches and porticos
  - Corner trim, wide window casings and trim, friese boards, shutters, and fypons,



## **B. Architectural Style**

While the Village does not wish to discourage creativity or uniqueness in housing design, styles are encouraged which blend well with the tradition home styles established within the Village. To the goal, the following guidelines are established:

- ✚ Development of single-family homes should consist of traditional architectural styles, modern or contemporary styles are discouraged.
- ✚ The mixing of architectural styles within a single home is discouraged.

### **C. Monotony Controls**

The Village desires that homes be constructed in a manner that is not repetitive and monotonous. A variety architectural styles and floor plans should be offered to protect against monotony.

The Village will specifically control for monotony in the following manner:

- ✚ No home should be constructed which is similar in appearance to any dwelling on the same street which is adjacent to it or directly across the street. Two dwellings shall not be considered “similar in appearance” provided they meet all of the following criteria:
  - a. The two dwellings are different elevations of the same model
  - b. The two dwellings are different colors
  - c. The two dwellings have opposite garage handing
  
- ✚ When adjacent lots contain different housing styles, the similarity standards delineated in above do not apply except that the two houses should not be the same color. Housing style is in and of itself a significant enough characteristic to constitute dissimilarity. For the purpose of assessing similarity, housing styles shall include the following: ranch, bi-level, tri-level, 1-1/2 story, and two story.

### **D. Building Materials and Color**

The building materials and colors of a home are important considerations for homes within the Village. Building materials and colors should complement existing development and the surrounding environment while avoiding a monotonous appearance. Materials and colors should be chosen to achieve a high level of aesthetic quality.

- ✚ Exterior finishes are encouraged to consist of either traditional masonry building materials such as brick or stone, or wood or fiber cement siding.
  
- ✚ Brick/Masonry is required on fifty percent (50%) of the total area of the front elevations (excluding areas of doors, windows and garage doors) of at least 40 percent of the single –family detached homes constructed within a neighborhood.
  
- ✚ Brick/Masonry is required on twenty-five percent (25%) of the total area of the front elevations (excluding areas of doors, windows and garage doors) of at least 40 percent of the single-family detached homes constructed within a neighborhood. This 40% is in addition to the 40% of homes required to have 50% brick fronts.
  
- ✚ Brick/Masonry should be wrapped around corners so as to not appear as a veneer.
  
- ✚ When using brick/masonry, the Village prefers a more varied elevation design as opposed to horizontal brick line at the top of the first floor.
  
- ✚ A Brick wainscot around the side and rear elevations of single-family detached homes is encouraged.

- ✚ Attached single-family units shall be required to provide brick/masonry on twenty-five percent (25%) of the total area of the front elevations (excluding areas of doors, windows and garage doors) and a minimum 3' high brick/masonry wainscot on all other elevations.
- ✚ Ranch style units in an attached single family building shall have full masonry front elevations.
- ✚ The use of vinyl or aluminum siding should be minimized. Where appropriate in design, vinyl or aluminum siding should be of a high grade architectural style or incorporate a foam backing.
- ✚ Artificial stucco and Exterior Insulation and Finish Systems (EIFS) should be selectively used.
- ✚ A variety of accent and trim materials should be utilized to highlight entries, windows, dormers, porches and other architectural details. Encouraged accent materials include stone (natural or simulated), wood, metal and Exterior Insulation and Finish Systems (EIFS).
- ✚ Roofing materials should complement the architectural style of a home. The color of roofing materials should complement the architectural style and color of the home. Architectural style shingles are encouraged.
- ✚ The use of columns, banisters, balusters, shutters, and other architectural details are encouraged provided they are compatible with the architectural style of the home.
- ✚ The preferred colors for new homes should consist primarily of earth tones. Contrasting and complementary colors should be used as accents or to highlight architectural features that distinguish homes and neighborhoods from one another.
- ✚ Consistent materials should be used on all exterior sides of a home. Changes in colors and materials should occur where architecturally appropriate such as changes between floors.

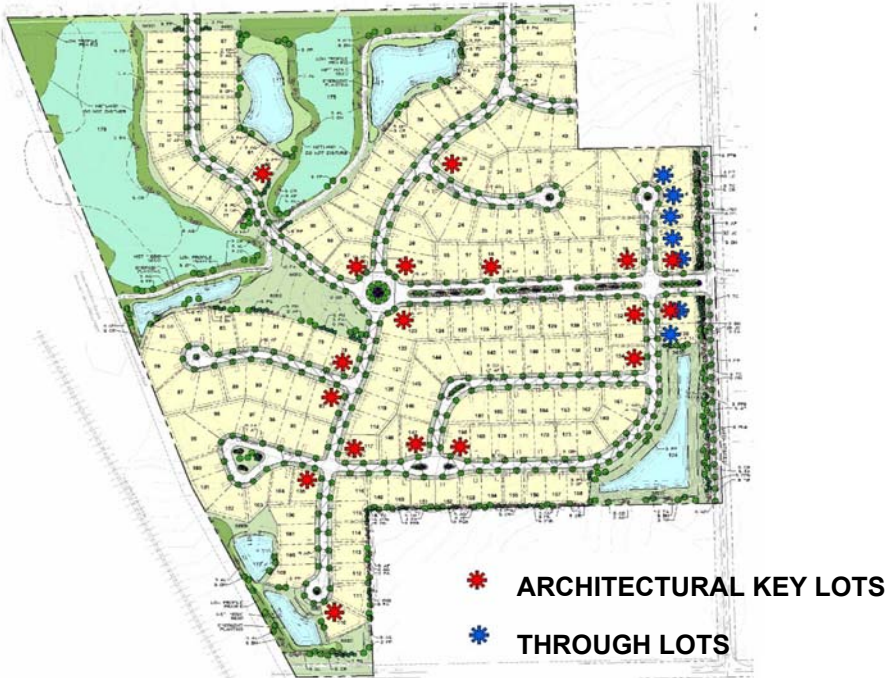


**E. Key Lots, Through Lots, Corner Side Lots**

- ✚ Plans should designate Key Lots within the development. Such lots are those occupying a significant location as determined by the Village, which will therefore be treated in an architecturally significant manner. Examples of key lots are at the intersections of streets, corner lots, or certain lots on long uninterrupted blocks.
- ✚ Keys lots will be required to provide significantly enhanced architectural detailing on all appropriate elevations.



- ✚ Plans should designate Through Lots and Corner Side lots present within the development. Through lots are those having frontage on a public or private right of way abutting both its front and rear yards. Corner side lots are corner lots have two street frontages. (Corner side lots may also be through lots). The design of the rear and side elevations of homes on such lots shall require architectural detailing in the form of window shutters and at least one of the following: bay windows, changes of plane where planes differ by at least one foot, a mix of building face materials, or window moldings and trim which create a frame at least three inches in width.



## **F. Entrances and Windows**

Windows, doors and entrances add architectural interest and “curb appeal” to a home. An attractive and inviting home contributes positively to a neighborhood unit and enhances the Village.

- ✚ Each elevation of a dwelling should have windows. The patterning and quantity of window placement should be determined by the architectural style of the home and should be properly spaced and proportioned.
- ✚ Sufficient quantity of windows shall be provided to eliminate “blank” wall spaces.
- ✚ All window and door openings should be articulated through the use of shutters, lintels, sills or surrounds.
- ✚ All windows should have grids or grilles.
- ✚ The style of window should be compatible with and complement the architectural style of the home. All windows in a home should be of same style and quality. Installation of different types or styles of windows within the same home is strongly discouraged.



- ✚ Multiple story entry features are encouraged.
- ✚ The principal entrance of each home should have prominence in the elevation.
- ✚ Front porches/patios should be a minimum depth of 8 feet.



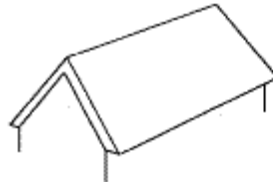
## **G. Roofs and Rooflines**

Roofs and rooflines are an important element in the character, quality, and aesthetic value of a home. Roof design and details can also reduce mass and bulk.

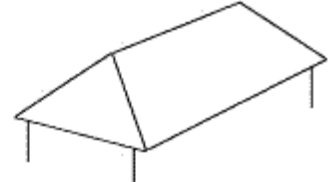
- ✚ The main roof should have a minimum pitch of 6 vertical to 12 horizontal. Steeper roof pitches are encouraged where architecturally appropriate.

- ✚ Hipped roofs and gabled roofs are preferred.

- ✚ Roofs should provide consistent character and style on all sides of a home.



GABLE ROOF



HIP ROOF

- ✚ Roof pitches for various building components should be appropriate to the components mass. Larger building masses should have steeper roof pitches, while smaller component masses (i.e. dormers and secondary gables) should have flatter pitches.



- ✚ A minimum roof overhang (eaves and rakes) of twelve inches (12") is required to create shadow lines. Eaves and rakes should be articulated by fascia boards, friezes, cove and crown molding, or gutters.
- ✚ Dormers are encouraged provided they are appropriate with the architectural style of the home.
- ✚ Chimneys should be incorporated into the roofline of a house to help break up roof mass and reduce bulk.
- ✚ Sewer, plumbing and attic vents should be combined when possible. Continuous ridge vents or gable vents are encouraged. Turtle vents, when used should be colored to blend with the roof of the house.

## **H. Garages and Driveways**

The Village desires to establish guidelines which reduce the prominence of the garage within the design of each home and the overall streetscape while recognizing the need for storage and parking space.

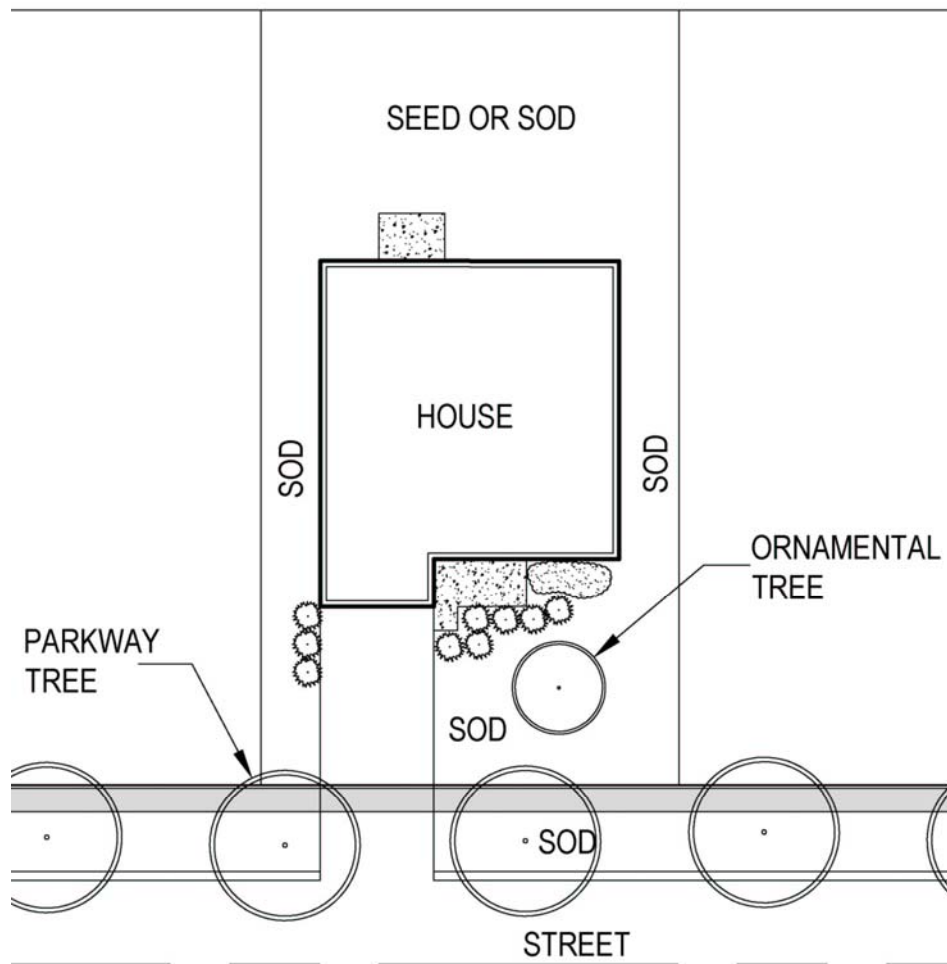
- ✚ All homes (whether attached or detached) should have a two car attached garage.
- ✚ All driveways should be constructed of asphalt, concrete or brick pavers. The use of concrete or brick pavers is preferred to the use of asphalt. Pattern stamping and/or coloring may be appropriate provided the color and pattern complements the architectural style of the home.
- ✚ Carports are prohibited.
- ✚ Garages should be properly sited as to not to be a primary design feature of a home. Frontloading, front facing garages should not protrude from the front plane of the home more than ½ of the depth of the garage.
- ✚ Side-loading, front-facing garages are permitted.
- ✚ When front-loading garages are used, architectural design of the home should reduce the prominence of the home by attracting the eye away from the garage.
- ✚ Garage doors should incorporate windows, panels and other design details to enhance their appearance.
- ✚ Separate garage doors for each bay are encouraged.
- ✚ Details such as curved tops, wide casings, corner and frieze boards, and columns should be used to soften the visual impact of the garages and enhance their appearance.

## **I. Basements**

All single-family detached homes shall have a basement with a minimum size equal to at least 50% of the first floor square footage.

## J. Homesite Landscaping

- ✚ All lots shall be sodded in the front and side yards, seeding may be used in the rear yard.
- ✚ All lots shall be landscaped to a minimum level provided by the builder/developer. Typical landscape plans for the landscaping of individual homes should be provided during the subdivision review process.
- ✚ At a minimum each home should be provided the following plantings:
  - Street trees per Village Ordinance
  - One ornamental or deciduous tree in the front yard (min. 2 1/2 " caliper)
  - Six deciduous shrubs (min. 24" height)
  - Three evergreen shrubs
  - Nine ground cover plants or perennials (1 gal.)



## **5. RESTRICTIVE COVENANTS**

Restrictive Covenants shall be prepared by the builder/developer for review by the Village.

- ✚ All developments shall establish a homeowner's association for each individual land use within the development. If multiple uses are present within a development, a master association shall also be created.
- ✚ An architectural review committee shall be established to review all requests for improvements and modifications dealing with the architectural design, landscaping, fencing, patios, decks, porches, additions, etc.
- ✚ Provisions within the covenants shall provide for the maintenance of all common areas including but not limited to common landscaping, landscape easements, ponds, and open space as well as all exterior maintenance on multi-family and maintenance free units to be provided for by the homeowner's association.
- ✚ All fences proposed along exterior right-of-ways on through lots shall be required to be designed of one consistent style, size, color and type of fencing along the entire length of the frontage.
- ✚ Provisions shall be made to ensure the continued maintenance of detention ponds/stormwater management areas as well as their associated facilities by the homeowner's association.