

## Land Use Application

DISCLAIMER: Only one application per each singular petitioned use.

(Section Break)

### Section 1: Petitioner Information

*Please provide full contact information for the individual submitting the application.*

Name	East Gate - Logistics Park Chicago, LLC
Address	<u>4825 NW 41st Street, Suite 500</u>
City	Riverside
State	MO
Zip Code	64150
Phone Number	<u>8163842292</u>
Fax Number	<i>Field not completed.</i>
Email Address	<u>imcdonald@northpointkc.com</u>
Petitioner Relationship to Request	Petitioner is the contract purchaser of the property and has attached a copy of said contract of this petition., Petitioner is acting on behalf of the owner of the subject property and has attached a letter granting such authority signed by the owner.

In the event the property is held in trust, a notarized letter from an authorized trust officer identifying the petitioner as an authorized individual acting on behalf of the beneficiaries is required. The letter must provide the name, address and percentage of interest each beneficiary holds.

(Section Break)

### Section 2: Property Information

*Please provide, in entirety, property information as it pertains to this application.*

Address	Compass Business Park - See attached documentation
City	Elwood
State	IL
Zip Code	60421

Property Size	851 acres
PIN Number	See attached
Zoning	I-2 Light Industrial District with Special Use and PUD
Indicate which, if any, of the following supporting documents have been uploaded in the 'file upload' boxes below.	Legal Description, Adjacent Property Owners
File Upload	<a href="#"><u>Owners Consents for Compass Business Park.pdf</u></a>
File Upload	<a href="#"><u>List of Property Owners and Depiction of Adjacent Properties Submitted 9-12-2017.pdf</u></a>
File Upload	<a href="#"><u>Rezoning Depiction and Legal Description.pdf</u></a>
File Upload	<i>Field not completed.</i>

(Section Break)

**Section 3: Type of Action Requested**  
*Indicate the action requested for the aforementioned property.*

Select the action requested by the petitioner.	Zoning Map Amendment
Other, please specify.	PUD with a Special Use along with Concept Plan, including recommendation for annexation, and other relief in furtherance thereof

(Section Break)

**Section 4: Statement of Petition**  
*Elaborate on the purpose of the petition and specific use as it applies to the identified property.*

Statement of Petition	See attached Statement of Petition and associated application documents
File Upload	<a href="#"><u>Compass Business Park Application.pdf</u></a>
File Upload	<i>Field not completed.</i>
File Upload	<i>Field not completed.</i>

File Upload

*Field not completed.*

(Section Break)

#### Section 5: Land Use Fees

*Identify the applicable fee associated with the petitioner's request.*

Annexation Without  
Agreement *Field not completed.*

Annexation With  
Agreement *Field not completed.*

Zoning Map Amendment *\$1,085.00 - More than 100 acres*

Variance *Field not completed.*

Appeal of an Administrative  
Determination *Field not completed.*

Plat Application *Field not completed.*

Zoning Status Report *Field not completed.*

Text Amendment *Field not completed.*

Hearing Recordation *Field not completed.*

Site Plan Review - Choose  
the Greater Amount *Field not completed.*

Total Fee *\$1,085*

Indicate Payment Method: *Check - Mailed*

#### Information

*Please submit any additional information, attachments or payment by phone to (815) 423-5011, by fax to (815) 423-6818, by email to [pat.winters@villageofelwood.com](mailto:pat.winters@villageofelwood.com) or by mail to Village of Elwood, 401 East Mississippi Avenue, Elwood, IL 60421.*

(Section Break)

#### Section 5: Authorization and Signature

##### Authorization

*I hereby affirm that I have full legal capacity to authorize the filing of this petition and that all of the information and exhibits herewith submitted are true and correct*

*to the best of my knowledge. The petitioner invites city representatives to make all reasonable inspections and investigations of the subject property during the period of processing this petition.*

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Signature of Petitioner      Ian P McDonald

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Date      12/1/2017

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(Section Break)

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# Land Use Application

## Village of Elwood, Illinois

PETITIONER: East Gate - Logistics Park Chicago, LLC  
PHONE: 816-384-2292 (OFFICE) (HOME)  
ADDRESS: 4825 NW 41st Street, Suite 500  
CITY: Riverside STATE: Missouri ZIP: 64150

PETITIONER IS THE OWNER OF THE SUBJECT PROPERTY AND IS THE SIGNER OF THIS PETITION.  PETITIONER IS THE CONTRACT PURCHASE OF THE SUBJECT PROPERTY AND HAS ATTACHED A COPY OF SAID CONTRACT OF THIS PETITION.  PETITIONER IS ACTING ON BEHALF OF THE OWNER OF THE SUBJECT PROPERTY AND HAS ATTACHED A LETTER GRANTING SUCH AUTHORITY SIGNED BY THE OWNER

IN THE EVENT THE PROPERTY IS HELD IN TRUST, A NOTARIZED LETTER FROM AN AUTHORIZED TRUST OFFICER IDENTIFYING THE PETITIONER AS AN AUTHORIZED INDIVIDUAL ACTING ON BEHALF OF THE BENEFICIARIES AND PROVIDING THE NAME, ADDRESS, AND PERCENTAGE OF INTEREST OF EACH BENFICIARY IS ATTACHED TO THIS EXECUTED PETITION.

### SUBJECT PROPERTY

LOCATION: See Attached

SIZE OF PROPERTY: Approximately 851 Acres TAX PARCEL NUMBER: See Attached  
THE FOLLOWING DOCUMENTS HAVE BEEN ATTACHED:

LEGAL DESCRIPTION  LIST OF ADJACENT PROPERTY OWNERS  PRELIMINARY PLAT  
 PRELIMINARY PLAN  IMPACT FEE FORM  SITE PLAN  FINAL PLAN  BANK TRUST LETTER  
 PLAT OF SURVEY

### TYPE OF ACTION REQUESTED

ANNEXATION  PRELIMINARY PLAT/PLAN(CIRCLE ONE)  
 ANNEXATION AGREEMENT  FINAL PLAT/PLAN(CIRCLE ONE)  CONDITIONAL USE  
 CONCEPT PLAN  X MAP AMENDMENT FROM I-4\* TO I-2 w PUD VARIANCE  
\*  SITE PLAN REVIEW

I HAVE SUBMITTED THE REQUIRED FILING FEE. I UNDERSTAND THAT THE FEE IS NON-REFUNDABLE. THE FEE IS DETERMINED ACCORDING TO THE ATTACHED SCHEDULE OF FEES. TAY (INITIAL HERE) \$ 1,085 (FEE)

### STATEMENT OF PETITION

PLEASE PROVIDE A BRIEF STATEMENT DESCRIBING THE PROPOSAL AS IT RELATES TO THE STANDARDS OF PETITION ACCOMPANYING THIS DOCUMENT(ATTACH ADDITIONAL SHEETS IF NECESSARY)

See Attached and Additional Documents

NUMBER OF DWELLING UNITS TYPE OF UNITS SQUARE FOOTAGE  
PROPOSED TIME SCHEDULE FOR DEVELOPMNT  
REQUESTED VARIANCES

### AUTHORIZATION

I HEREBY AFFIRM THAT I HAVE FULL LEGAL CAPACITY TO AUTHORIZE THE FILING OF THIS PETITION AND THAT ALL THE INFORMATION AND EXHIBITS HEREWITHE SUBMITTED ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. THE PETITIONER INVITES CITY REPRESENTATIVES TO MAKE ALL REASONABLE INSPECTIONS AND INVESTIGATION OF THE SUBJECT PROPERTY DURING THE PERIOD OF PROCESSING THIS PETITION

STATE OF Missouri ) 12/1/2017   
COUNTY OF Platte ) DATE SIGNATURE OF PETITIONER



## COMPASS BUSINESS PARK REZONING APPLICATION

### I-2 Zoning and Planned Unit Development

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# **STATEMENT OF PETITION**

### **Statement of Petition**

East Gate – Logistics Park Chicago, LLC (the “Developer”) intends to develop the proposed Compass Business Park (the “Park”), which is an 851-acre real estate development primarily serving the light industrial, distribution center and warehousing markets. Approximately 176 acres of the Park (the “Elwood Property”) is located just east of Route 53 and just north of Ira Morgan St and was previously annexed into the Village of Elwood, Illinois (the “Village”). Another roughly 675 acres is intended to be annexed into the Village (the “Property”).

Formally for purposes of this application, the Developer seeks rezoning of the Park to I-2 Light Industrial District status and a Planned Unit Development for certain special uses and all other relief in furtherance of the foregoing.

As part of its application, the Developer proposes:

- Development Guidelines and a Table of Standards, subject to certain Ordinance Modifications, in order to establish specified standards for any future development of the Park;
- Exemplary architectural, site, landscaping and naturalized detention features to facilitate a known-product for all future development, including environmentally-friendly requirements and a commitment to heightened guidelines and standards for future development; and
- A special use for a portion of the Property, which would be primarily or exclusively used for cargo container storage up to three containers high (a “Container Storage Facility”); provided, the total amount of Property utilized for a Container Storage Facility shall not exceed 33 acres but shall not be less than 20 acres, the Container Storage Facility shall not be located on the Elwood Property, the Container Storage Facility shall be located on one parcel, the Container Storage Facility shall not be located contiguous to a Primary Road, unless otherwise agreed to by the Village, and the Container Storage Facility shall be subject to a payment of lieu of taxes in the amount of \$0.35 per square foot of gross land area (or the equivalent of \$15,246 per acre) of such Container Storage Facility.

While approximately 42 acres of the Elwood Property is intended for imminent development as a distribution center, the remaining portion of the Elwood Property would be held back for future light manufacturing uses. In addition, the vast majority of the Park will be located principally over 1 mile east of Route 53 and would be primarily utilized for distribution center and warehouse facilities.

The focal point of Compass Business Park is to create a restricted-access semi-truck road network (the “Truck Network”) using a system of overhead barriers and semi-truck turn-arounds to limit the ability of semi-trucks to access the Park from local or residential roads, including Route 53. And, instead, focus semi-truck related activity within the Park to Ira Morgan Street and then to a bridge over Route 53. The bridge would serve as a “flyover”, connecting Ira Morgan St and Walter Strawn while preventing any and all access to Route 53. The purpose of the bridge is to create a dedicated route to the local Union Pacific and BNSF intermodal facilities, and limit associated

highway traffic to the state-upgraded intersection of Arsenal and Interstate 55. A depiction of this dedicated truck route is set forth below:



Employee traffic would be allowed to enter and exit the proposed Compass Business Park via all existing and new roads. As mentioned above, semi-trucks will be prevented from entering or exiting Compass Park via these roads by a system of overhead barriers and associated semi-truck turn-arounds, as depicted in the application materials, requiring such vehicles to utilize the Truck Network.

As part of the Park development, significant public infrastructure improvements are contemplated. These include the construction of a water tower and additional well facility, at no direct cost to the Village. This also includes the construction of an additional ten to fifteen miles of on-site and off-site road improvements, the construction of an approximately 400-foot flyover bridge, as mentioned above, at an estimated cost of \$20 million. If authorized by the Illinois Department of Transportation, the Developer would also pay for the installation of a traffic signal at Mississippi Road and Route 53.

As part of the above public improvements, the Developer would provide an allowance for future landscaping, site and trail improvements to adjacent parks in the Village. And as part of its plan for the bridge construction and public improvements, the Developer will provide connectivity between the existing Village paths west of Route 53 and Midewin and other paths east of Route 53. As part of this plan, the Developer proposes to include a segregated pedestrian path on the bridge over Route 53. The path would be located on the north side of the bridge and approaches, and would then cross under the road via a tunnel with landscaped approaches. After crossing through the tunnel, the path would extend to Hoff Road and then to the corner of Hoff Road and Route 53. To provide connectivity to the eastern edge of the Village, and as an amenity for employees working in Compass Business Park, the Developer will extend a 10' path along all primary roads through Compass Business Park.

Through the Planned Unit Development, including heightened Development Guidelines and Table of Standards, the Developer is focused on creating a pleasing aesthetic experience for future employees within Compass Business Park, including those travelling through, from or to Compass Business Park. To that end, the Developer proposed thoughtful and heightened setback requirements (relative to the current Village code). These setback requirements increase in the event trailer parking is placed in a yard adjacent to a roadway. In addition, the Developer has proposed a requirement for “wrought-iron look” aluminum fence when adjacent to roadways, with specific setbacks for fencing that is equivalent to the setback for paving.

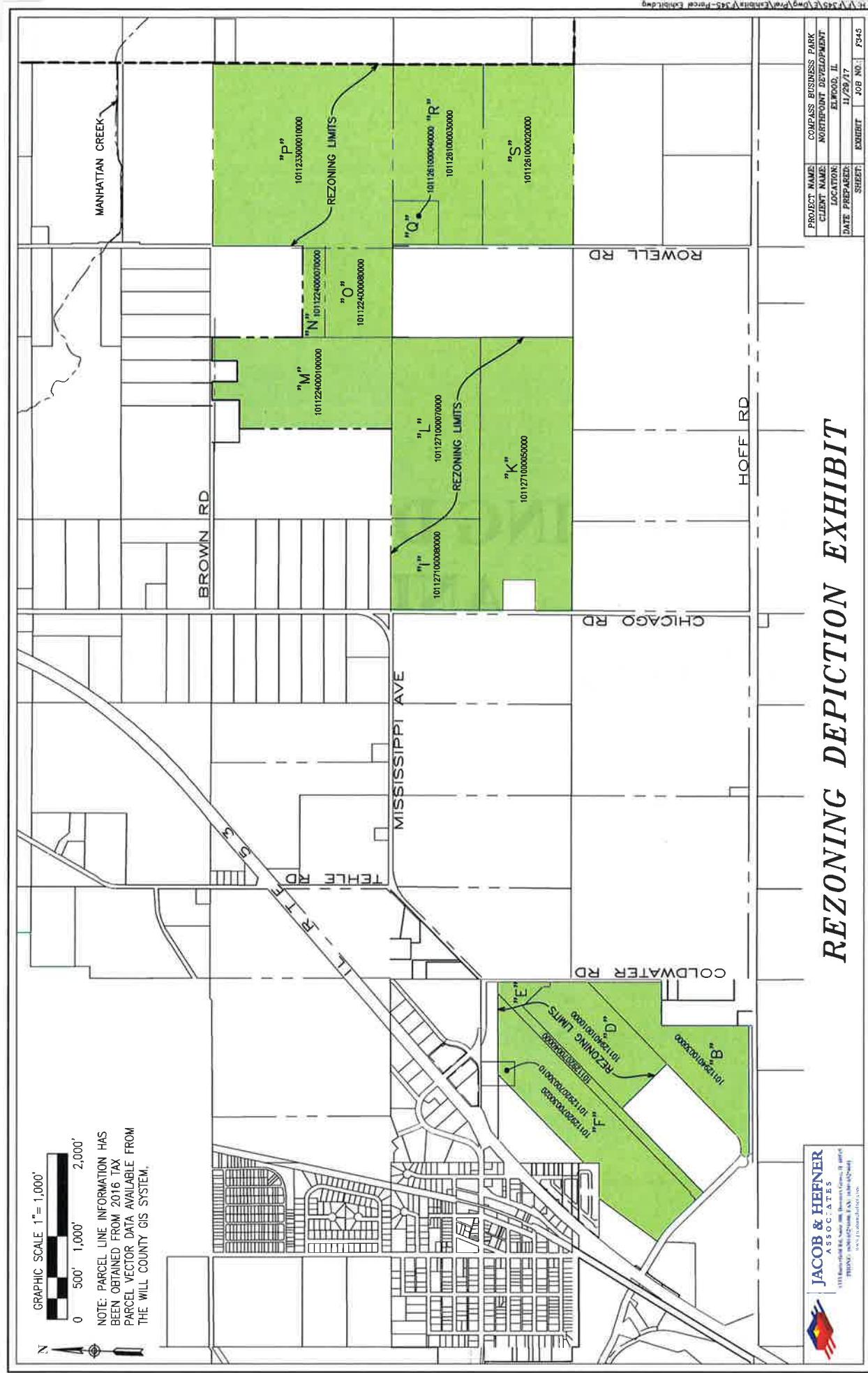
Consistent with this aesthetic requirement and to maintain an environmentally conscience appeal, future development of Compass Business Park is subject to a requirement for one tree per twenty feet on each side of each primary road. To limit visual impacts, berms will be utilized to help screen views; tree islands will be placed in parking lots; foundation yards will be placed between car parking and buildings, which will include trees and bushes; and there will be a requirement for trees to be placed on the building site equivalent in number to one tree per forty linear feet of side and rear yards. This is in addition to those required along street-facing yards. The trees will be selected from the list of native species approved for use in the Village, along with the attached list specifically selected for noise attenuation as set forth in the Development Guidelines and Exemplary Architectural, Site, Landscaping and Naturalized Detention exhibit.

The Developer is proposing the exclusive use of naturalized detention facilities throughout the 675-acre portion of the Property. The naturalized detention will be planted with the native species from the list included within the proposed Planned Unit Development. Typical detention facilities require chemical treatment and pollutants while providing little filtration of those chemicals and pollutants. Typical detention facilities also offer very little groundwater and aquifer recharge. In contrast, naturalized stormwater detention offers increased infiltration of groundwater and aquifer recharge, providing increased sustainability. Naturalized detention also filters chemicals and pollutants, increases wildlife habitation for local and migratory animals, prevents erosion while increasing soil stability, and reduces stormwater runoff volume, resulting in stormwater rate reduction.

In addition, the Developer is also sensitive to the impact of development on the night sky and will, therefore, require all lighting to be “Dark Sky” compliant, and will prohibit the external lighting of buildings or signs.

All of the above, and more, is a significant portion of the proposed application for rezoning of the Property to I-2 Light Industrial District status and a Planned Unit Development for certain special uses and all other in furtherance of the foregoing.

# **REZONING DEPICTION AND LEGAL DESCRIPTION**



## **Rezoning Legal Description**

### **TRACT "B" (P.I.N. 10-11-29-401-003-0000)**

ALL OF LOT 4 IN CENTERPOINT INTERMODAL CENTER EAST UNIT ONE, BEING A SUBDIVISION OF PART OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 22, 2008, AS DOCUMENT NUMBER 2008-147917, IN WILL COUNTY, ILLINOIS.

### **TRACT "D" (P.I.N. 10-11-29-401-001-0000)**

ALL OF LOT 5 IN CENTERPOINT INTERMODAL CENTER EAST UNIT ONE, BEING A SUBDIVISION OF PART OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 22, 2008, AS DOCUMENT NUMBER 2008-147917, IN WILL COUNTY, ILLINOIS.

### **TRACT "E" (P.I.N. 10-11-29-207-004-0000)**

ALL OF LOT 2 IN CENTERPOINT INTERMODAL CENTER EAST UNIT ONE, BEING A SUBDIVISION OF PART OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 22, 2008, AS DOCUMENT NUMBER 2008-147917, IN WILL COUNTY, ILLINOIS.

### **TRACT "F" (P.I.N. 10-11-29-207-003-0000)**

ALL OF LOT 6 IN CENTERPOINT INTERMODAL CENTER EAST UNIT ONE, BEING A SUBDIVISION OF PART OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 22, 2008, AS DOCUMENT NUMBER 2008-147917, IN WILL COUNTY, ILLINOIS.

### **TRACT "I" (P.I.N. 10-11-27-100-008-0000)**

THE WEST 1347.98 FEET OF THE NORTHWEST QUARTER, EXCEPT THE SOUTH 1343.14 FEET THEREOF, IN SECTION 27, IN TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

**TRACT "K" (P.I.N. 10-11-27-100-005-0000)**

THE SOUTHERN 1343.14 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS. ALSO, THE SOUTHERN 1343.14 FEET OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS, EXCEPTING THEREFROM THE NORTH 466.70 FEET OF THE SOUTH 996.70 FEET OF THE WEST 466.70 FEET THEREOF.

**TRACT "L" (P.I.N. 10-11-27-100-007-0000)**

THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS, EXCEPT THE SOUTHERN 1343.14 FEET THEREOF. ALSO, THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS, EXCEPT THE SOUTHERN 1343.14 FEET THEREOF AND ALSO EXCEPTING THE WESTERN 1347.98 FEET THEREOF.

**TRACT "M" (P.I.N. 10-11-22-400-010-0000)**

THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, IN TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS. ALSO, THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, EXCEPTING THEREFROM THE NORTH 400 FEET OF THE WEST 415 FEET THEREOF AND ALSO EXCEPTING THAT PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHEAST QUARTER; THENCE WEST, ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER 1664.12 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING WEST, ALONG SAID NORTH LINE 300.00 FEET; THENCE SOUTH, PERPENDICULAR TO THE LAST DESCRIBED COURSE, 363.00 FEET; THENCE EAST, PERPENDICULAR TO THE LAST DESCRIBED COURSE, 300.00 FEET; THENCE NORTH, PERPENDICULAR TO THE LAST DESCRIBED COURSE, 363.00 FEET, TO THE POINT OF BEGINNING, IN TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

**TRACT "N" (P.I.N. 10-11-22-400-007-0000)**

THE NORTH 10 ACRES OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, IN TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

**TRACT "O" (P.I.N. 10-11-22-400-008-0000)**

THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22 IN TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT THE NORTH 10 ACRES THEREOF, IN WILL COUNTY, ILLINOIS.

**TRACT "P" (P.I.N. 10-11-23-300-001-0000)**

THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

# **PUD ORDINANCE EXHIBITS**

# **DEVELOPMENT GUIDELINES**

## Development Guidelines

Any improvements, modifications, additions or demolitions of any kind performed on the Property must be designed and constructed according to the following:

Exterior Lighting:	<p><u>Site Lighting:</u> Site lighting shall be designed and installed to provide a safe, functional, attractive, and coordinated exterior environment and to minimize the amount of glare visible from, and light spillage onto neighboring properties.</p> <p>All exterior fixtures shall be mounted on the building or on clear anodized, tapered, aluminum poles. Poles shall not exceed 35' in height. Fixtures shall be prefinished aluminum and shall use high pressure sodium bulbs with a maximum wattage of 400, or, alternatively, LED bulbs with a similar light output, and shall meet LEED, Green Globe, or "Dark Sky" criteria for eliminating up-light. Fixtures mounted on buildings shall not exceed 35' in height.</p> <p>Fixtures used near exit doors shall also meet LEED, Green Globe, or "Dark Sky" criteria for eliminating up-light and shall use high pressure sodium bulbs with a maximum wattage of 150, or, alternatively, LED bulbs with a similar light output.</p> <p>Bollards shall be prefinished aluminum and shall use bulbs with a maximum wattage of 60 watts.</p> <p>Due to concerns regarding unnecessary light pollution external lighting of ground mounted monument signs, flood lighting of building mounted signs, ground mounted building accent lighting, up-lighting of landscaping, and excessive security lighting are prohibited.</p> <p>Ground or building mounted sign lighting shall be accomplished by backlighting and/or internal lighting.</p>
Equipment Screening	<p>All ground mounted mechanical or electrical equipment and all office roof top mechanical equipment visible from the adjacent road(s) shall be screened from view. Equipment required to be screened shall be screened utilizing one or more of the following methods:</p> <ul style="list-style-type: none"><li>• Landscaping</li><li>• Architectural metal panels mounted horizontally, with a baked-on enamel finish to match the building color</li><li>• EIFS designed to match the building panels</li><li>• Precast</li><li>• Parapet walls</li><li>• Opaque glass</li></ul>

	<ul style="list-style-type: none"> <li>Proprietary integrated equipment screens may be approved by Village staff provided the number of separate screens in one location is two or less.</li> </ul> <p>Great care should be taken to locate pipes, flues and hoods out of view from adjacent roads.</p> <p>Rooftop radio, TV, microwave, and other antennas must be specifically approved by Village staff as to their height, location, and screening.</p>
Site Paving:	<p><b><u>Entrance Aprons:</u></b> Entrance aprons shall include a depressed curb and gutter (or a curb and gutter which has had the back of the curb removed via sawing) and at least fifteen (15) feet of concrete.</p> <p><b><u>Asphalt Pavement:</u></b> All areas designed exclusively for automobile traffic will be paved with no less than three (3) inches of asphalt (in two lifts) placed over no less than eight (8) inches of compacted CA-6. All areas designed for truck traffic will be paved with no less than four (4) inches of asphalt (in two lifts) placed over no less than ten (10) inches of compacted CA-6. All asphalt paved areas shall be graded to slope at least 1.0% for drainage purposes. A 6" nonreinforced Ductilcrete slab installed over a 4" aggregate base may be substituted for heavy duty paving and the truck apron (required below).</p> <p><b><u>Truck Docks:</u></b> All facilities shall be designed and constructed to provide adequate maneuvering on-site without the need to maneuver on the street to access any truck docks located on that site. All exterior truck docks shall have a concrete apron at least seventy (70) feet adjacent to the dock wall.</p> <p><b><u>Curbing:</u></b> All paved areas (asphalt and concrete) shall be bounded by a concrete curb. All landscape areas shall be separated from paved areas with a concrete curb. Where bioswales are used, breaks in curbs shall be allowed to collect and route water into swales.</p>
Landscaping:	<p><b><u>General:</u></b> The purpose of the landscaping requirements is to provide a visually attractive, functional and coordinated environment that is reasonable to maintain and relatively tolerant or resistant to disease. Each site shall, at a minimum, conform to all requirements of the Village ordinances, except where amended herein.</p> <p><b><u>Irrigation:</u></b> Lawn areas adjacent to the right-of-way shall be irrigated to the back of curb. It is strongly recommended that individual lot owners consider the use of an alternative water supply for a portion of the site irrigation needs.</p> <p><b><u>Berms:</u></b> Earth berms shall be incorporated wherever practical. Berms should undulate in height and should generally not exceed a slope of four to one with maximum slope three to one when needed.</p>

Lawn Areas: All areas which are not improved with building or paving, or planted with landscape material shall be seeded or sodded. Ornamental stone may be used.

Parking Lot Islands: Automobile parking lots are to include a tree island, 9' x 18' in size for every twenty (20) parking spots. Automobile parking shall not be placed directly against any building, but shall respect the "Foundation Yards" provided in the Table of Standards. Each row of automobile parking shall terminate in a tree island.

Retaining Wall/Terracing: Where it is necessary to utilize retaining walls to transition grade, no individual wall shall exceed six (6) feet in height. If a transition of greater height is required multiple walls shall be used and terraced with a minimum horizontal offset between walls of six (6) feet. Walls shall be built using integrally colored split face concrete modular units.

Tree and Shrub List: All trees and shrubs planned to be installed adjacent to public roadways or in parking lots must be from the Village's list of approved parkway trees. The following list of native shrubs and trees are included due to their "sound buffering" capabilities and their use is encouraged whenever not prohibited by Village ordinance:

Shrubs:

1. Dogwood species
2. Witch Hazel
3. Elderberry
4. Black Chokeberry
5. Black Haw

Trees:

1. Eastern White Pine
2. Eastern Red Cedar
3. Redbud
4. Red Maple
5. Oak Species
6. Hackberry
7. Arborvitae
8. Black Walnut
9. Sycamore

Building Architecture/ Materials	<p>The purpose of the Development Guidelines is to produce an orderly and aesthetically pleasing development of high quality architecture in harmony with the environment, consistent with the theme of the business park and consistent with the intended use of the buildings.</p> <p>Design compatibility should be provided throughout the site. An overall continuity can be achieved by use of similar or compatible materials, colors and textures. Within developments comprised of two or more structures, heights, massing and form of articulation should be of similar character.</p> <p>Buildings should be responsive to the Illinois climate and indigenous landscape. Buildings should incorporate sun shading and other devices to effectively temper the area's climate. Insulation and thermal glazing should meet energy code standards. Colors used on buildings should complement the business park's development scheme. Buildings shall exhibit a comprehensive campus-like environment through the use on all buildings of similar signage, exterior lighting components and landscape materials.</p> <p><b><u>Elevations:</u></b> All elevations of a structure shall be constructed of the same material. This is not to require that glass features or other entry area highlights be added to the back of a building. This is, however, to require that if the front elevation of a building is constructed with smooth precast with cast-in reveals, then the other three elevations shall be constructed with smooth precast with cast-in reveals (except as provided below for walls enclosing a freezer/cool space or a wall specifically designed as an expansion wall). Main entrances to the buildings shall be well defined. Service doors shall be integrated into the overall design of the building. Stairs or elevators required for multi-story facilities shall be contained inside the facilities</p> <p><b><u>Materials:</u></b> All precast or site cast concrete wall panels shall have a smooth exterior finish with cast-in reveals. All concrete wall panels shall be stained or painted.</p> <p><b><u>Highlights:</u></b> The following materials shall be allowed as highlight material for entry areas or other architecturally significant areas of a structure:</p> <ul style="list-style-type: none"> <li>• EIFS</li> <li>• Standing Seam Metal</li> <li>• Architectural Metal Panels</li> <li>• Glass</li> <li>• Block/Brick/Stone (brick shall be utility size and of high quality and of low moisture absorbing). Block shall be allowed only as a highlight base material and shall be of a high quality and low moisture absorbing and shall have a smooth or rough-cut limestone appearance</li> </ul> <p><b><u>Prohibited Materials:</u></b> the following materials are prohibited on the exterior</p>
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	<p>structure unless otherwise approved by Village staff:</p> <ul style="list-style-type: none"> <li>• "Ribbed" or "raked" precast panels</li> <li>• "Double T" precast panels</li> <li>• EIFS in any location lower than five (5) feet above grade.</li> <li>• Standard concrete block.</li> <li>• Wood</li> <li>• Ceramic Tile</li> <li>• Quarry Tile</li> <li>• Metal wall panels (other than the exterior wall of a freezer/cooler space within a structure, or a wall specifically designed as an expansion wall)</li> <li>• Asphalt shingles.</li> </ul>
Outdoor Storage (Excluding Container Storage)	<p><u>General:</u> It is required that all activity such as processing, manufacturing, or assembling take place within a fully enclosed building. Where outdoor storage is allowed it will be located in such a way to minimize its view from any adjacent roadway. Outdoor storage shall be limited to twelve (12) feet in height and shall be screened from view as follows:</p> <ul style="list-style-type: none"> <li>• From adjacent roads - Storage to be completely screened by wall panels matching the building panels; or, berthing and landscaping.</li> <li>• From adjacent property lines - Storage to be fifty (50) percent screened by wall panels matching the building panels; or, berthing and landscaping.</li> </ul>
Fencing	<p><u>General:</u> Where it is necessary to use fencing the following requirements shall apply:</p> <ul style="list-style-type: none"> <li>• Front Yards/Corner side yards - Fencing shall maintain the setbacks require in the Table of Standards. Fence material shall be aluminum (wrought iron look) and shall be powder coated black. Maximum height shall be twelve (12) feet.</li> <li>• Side/Rear Yards - Fencing shall be located on the property line. Fence material shall be aluminum (wrought iron look) powder coated black, or chain link with black vinyl coating. Maximum height shall be twelve (12) feet.</li> </ul>

# **TABLE OF STANDARDS**

Table of Standards

Roadway	Feature	Road Width (ft@8)	R-O-W Width	Roadside Easements	Setbacks			Building	Foundation Yard (N/A in Truck courts)	Tree Spacing (Each Side) 20' (Staggered)
					Naturalized Detention	Car Parking	Fencing			
<b>Primary***</b>	40	66	20' Both Sides	40	40	40	52.5	40	62	10
<b>Secondary</b>	40	42	20' Both Sides	35	35	35	47.5	35	62	10
<b>Tertiary</b>	40	42	20' Both Sides	30	30	30	42.5	30	62	10
Yard	Feature	Buffer Berm Width	Setbacks			Building	Foundation Yard (N/A in Truck courts)	Tree Spacing		
			Naturalized Detention	Car Parking	Fencing					
Interior Side		N/A	10	10	0	12.5	10	40	10	40*
Sides Abutting Residential		50	10 (50' Berm still req'd)	50	0**	62.5	50	50	10	20' (Staggered)
Rear		N/A	10	10	0	12.5	10	40	10	40
Rear Abutting Residential		50	10 (50' Berm still req'd)	50	0**	62.5	50	50	10	20' (Staggered)
Parking/Tree Islands/Curb Cuts										
Miscellaneous:										
One car and drive aisle										
Two cars and drive aisle										
Four cars and drive aisles										
Parking Stall Width										
12' 6" to 8'										
12' 6" to 8'										
Tree Island Requirement										
Every 20 cars										
Tree Island Size										
Same as Car Stall										
Minimum curb cut separation										
25' (at straight)										

\*May be placed in other yards.  
\*\*Subject to consultation with neighbor  
\*\*\* A 10' easement on one side of the ROW shall be permitted within the "New Road" located on the Elwood Property

# **NATURALIZED DETENTION**

### **Naturalized Detention**

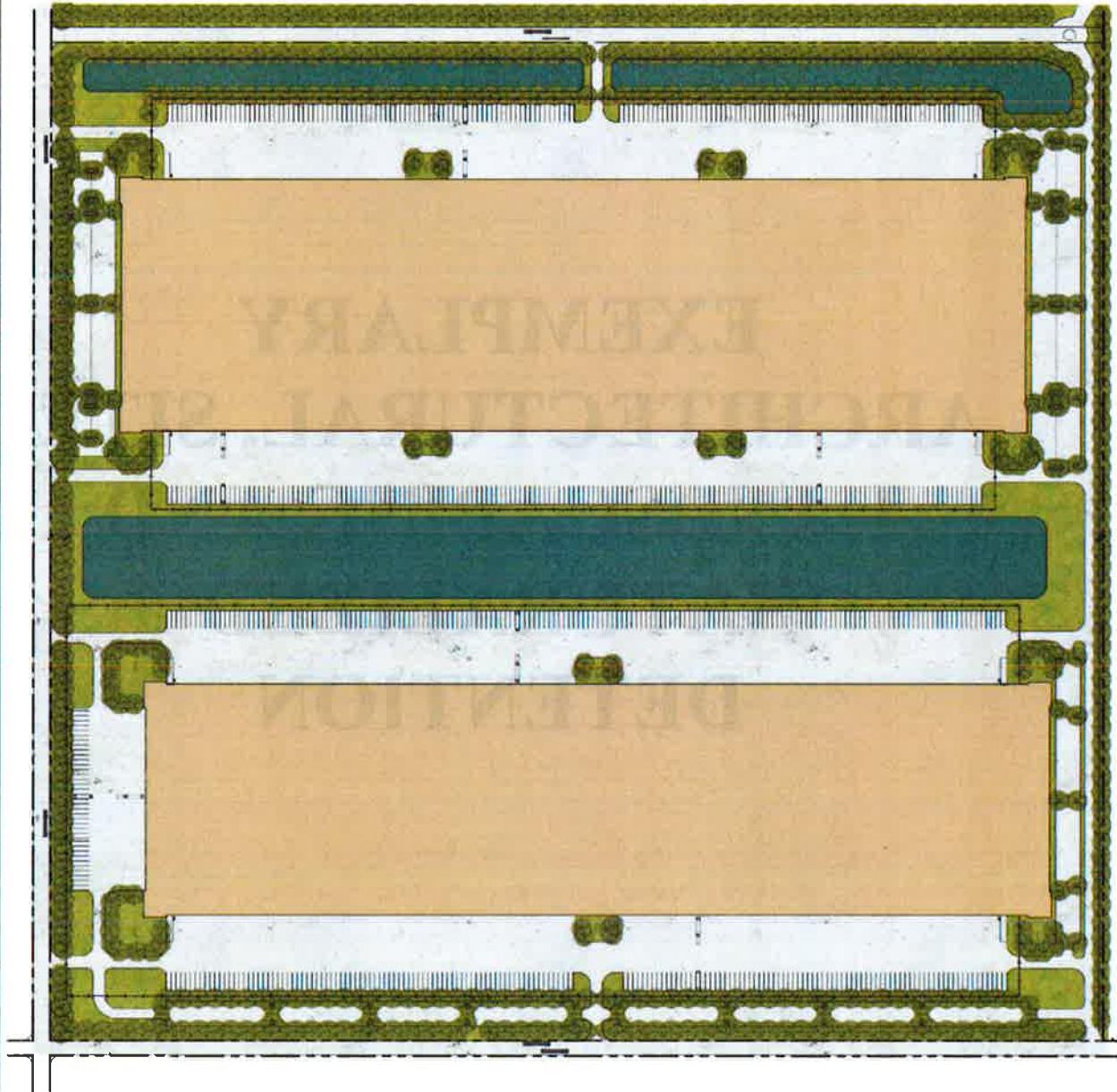
All new detention facilities constructed on the Property shall be naturalized facilities. Naturalized detention facilities are to be planted sides and bottoms with appropriate prairie and wetland plantings to:

- Increase infiltration of groundwater and aquifer recharge
- Reduce volume and rate of stormwater runoff beyond typical detention facilities
- Filter pollutants
- Reduce soil erosion
- Provide habitat

The following native plants are to be used exclusively for the Naturalized Detention areas:

1. Compass Plant
2. Canada Wild Rye
3. Little Bluestem
4. Black Eyed Susan
5. Switch Grass
6. Ohio Spiderwort
7. Prairie Cord Grass
8. Rice Cut Grass
9. Dark Blue Bulrush
10. American Sweet Flag
11. Broadleaf Arrowhead

**EXEMPLARY  
ARCHITECTURAL, SITE,  
LANDSCAPING AND  
NATURALIZED  
DETENTION**



SAMPLE OVERHEAD BUILDING LAYOUT



EXEMPLARY ARCHITECTURAL, SITE, LANDSCAPING AND NATURALIZED DETENTION



SAMPLE BUILDING LAYOUT



EXEMPLARY ARCHITECTURAL, SITE, LANDSCAPING AND NATURALIZED DETENTION

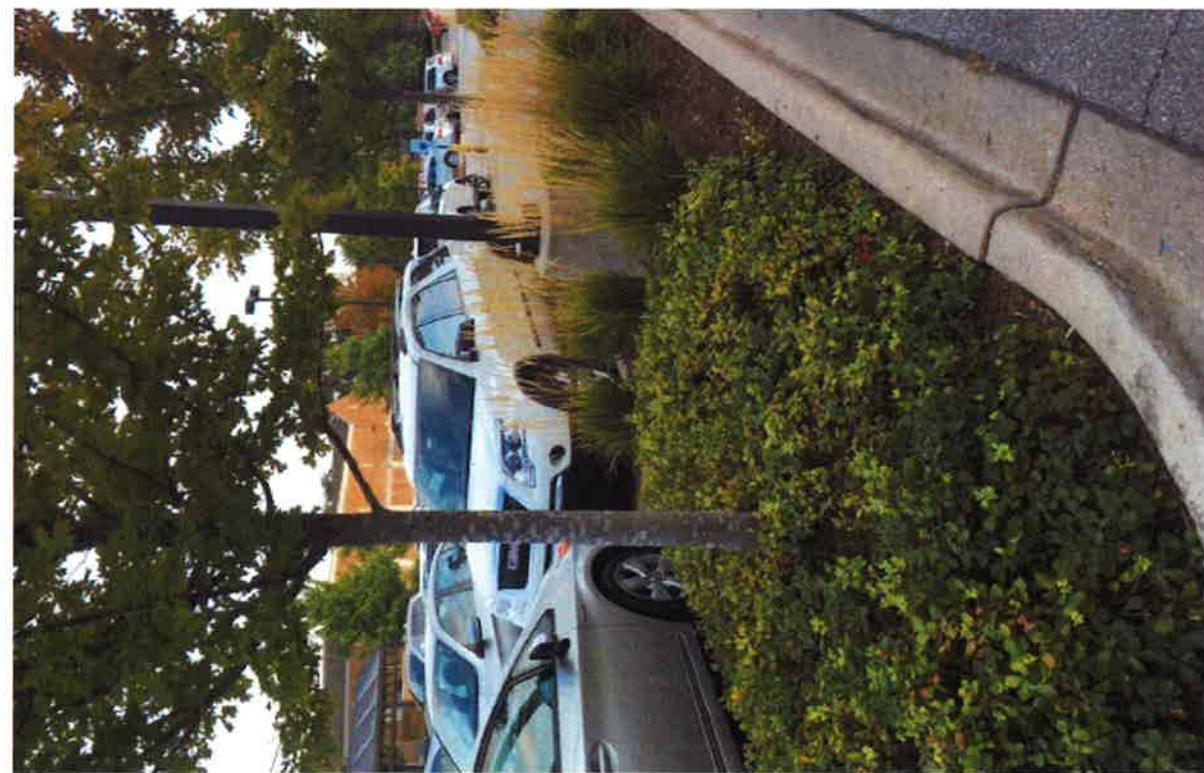


**NOT** Dark Sky Compliant

Dark Sky Compliant  
Compass Business Park



EXEMPLARY ARCHITECTURAL, SITE, LANDSCAPING AND NATURALIZED DETENTION



LANDSCAPED ISLAND

159627-079





EXEMPLARY ARCHITECTURAL, SITE, LANDSCAPING AND NATURALIZED DETENTION

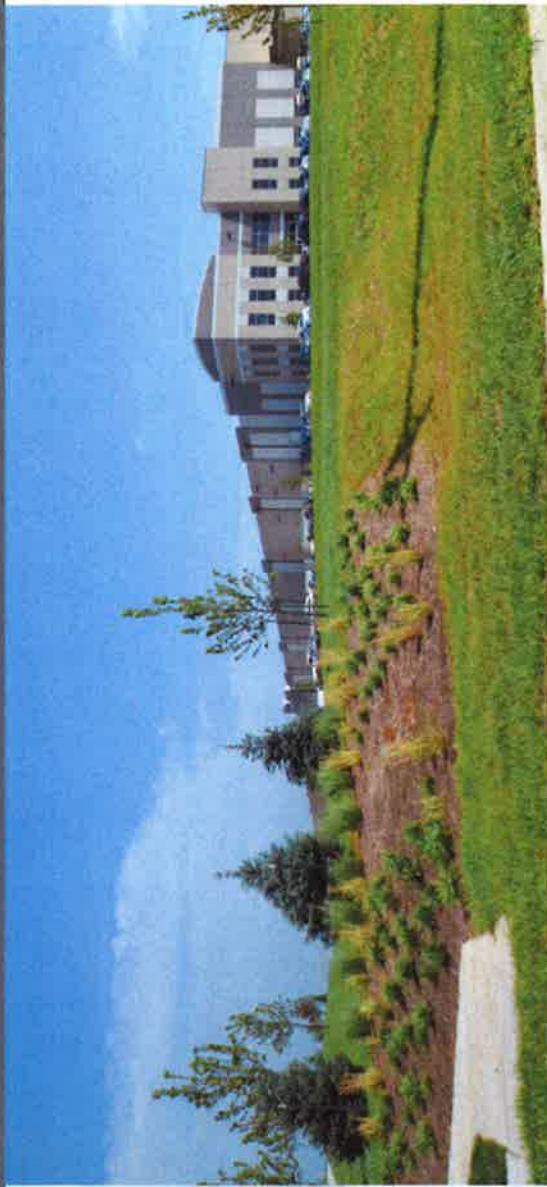


DOUBLE ROW LANDSCAPING

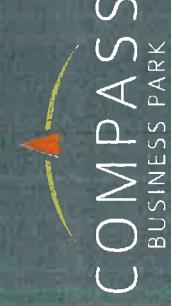
Page 26 of 79



## EXEMPLARY ARCHITECTURAL, SITE, LANDSCAPING AND NATURALIZED DETENTION

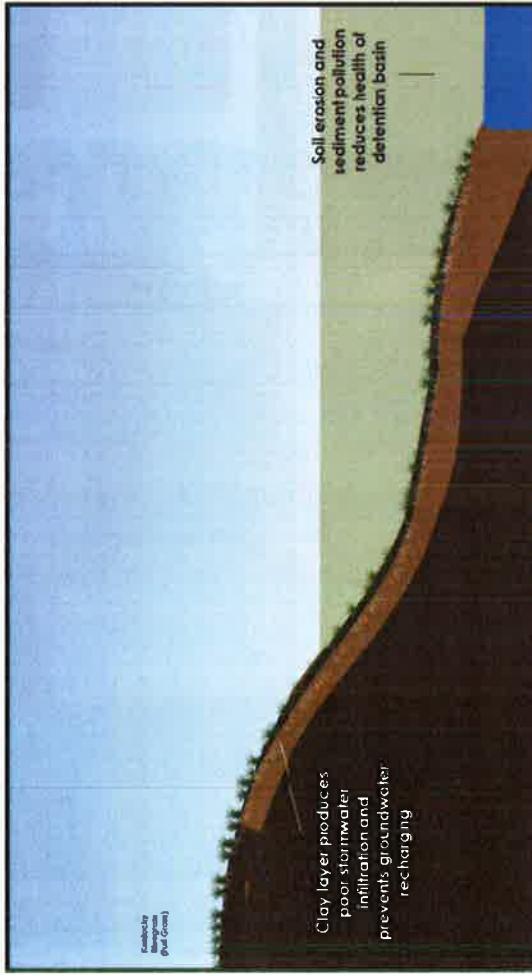


## ARCHITECTURAL DESIGN ELEMENTS



## EXEMPLARY ARCHITECTURAL, SITE, LANDSCAPING AND NATURALIZED DETENTION

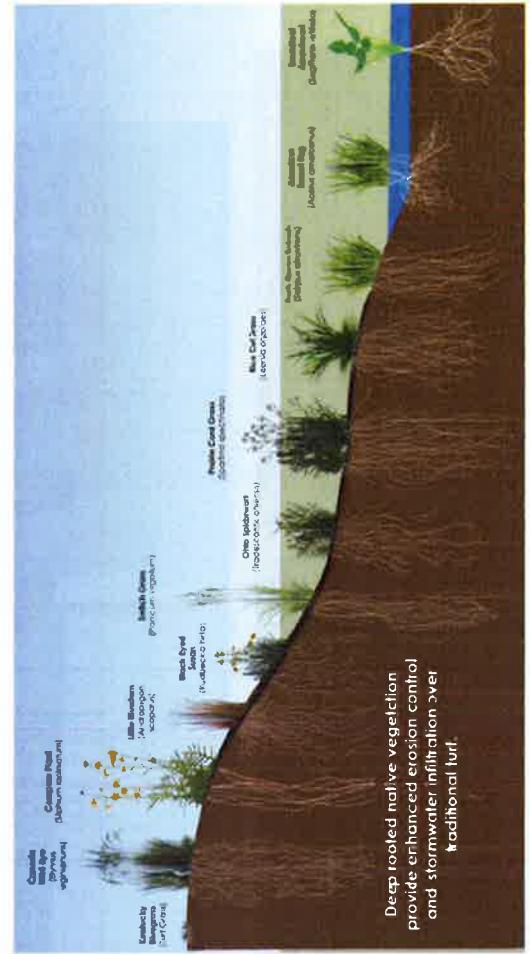
### TURF GRASS DETENTION BASIN OTHER BUSINESS PARKS



ENCAP

ENCAP

### NATURALIZED DETENTION BASIN COMPASS BUSINESS PARK



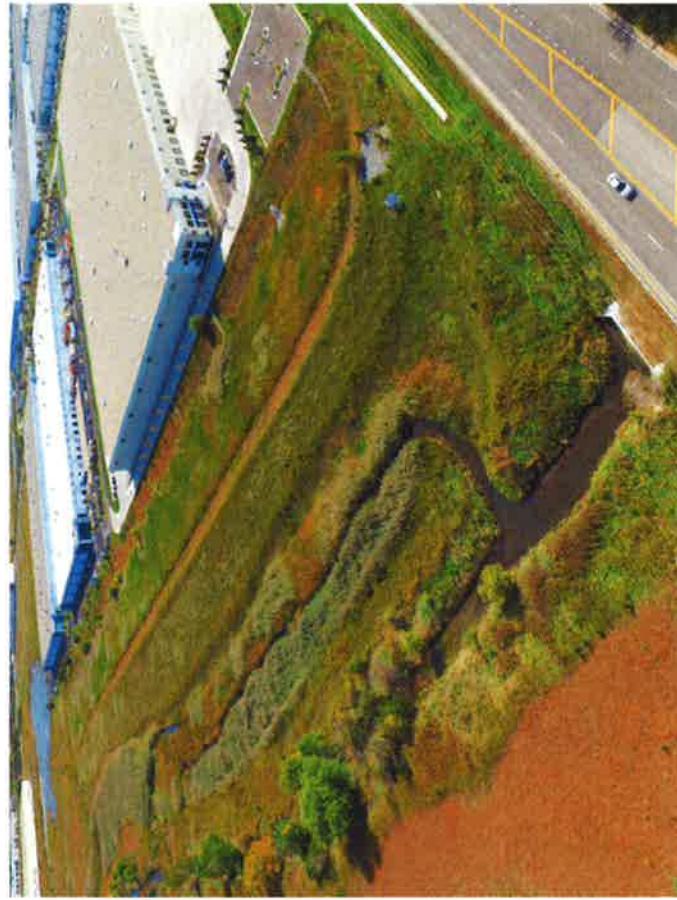
ENCAP

ENCAP

Typical Detention



Naturalized Detention



**Typical Detention**



Turf Grass Pond - Severe shoreline erosion

**Naturalized Detention**



Mature Naturalized Detention

## EXEMPLARY ARCHITECTURAL, SITE, LANDSCAPING AND NATURALIZED DETENTION

COMPASS

BUSINESS PARK

### Native Tree/shrub List – Sound Buffering

#### Shrubs

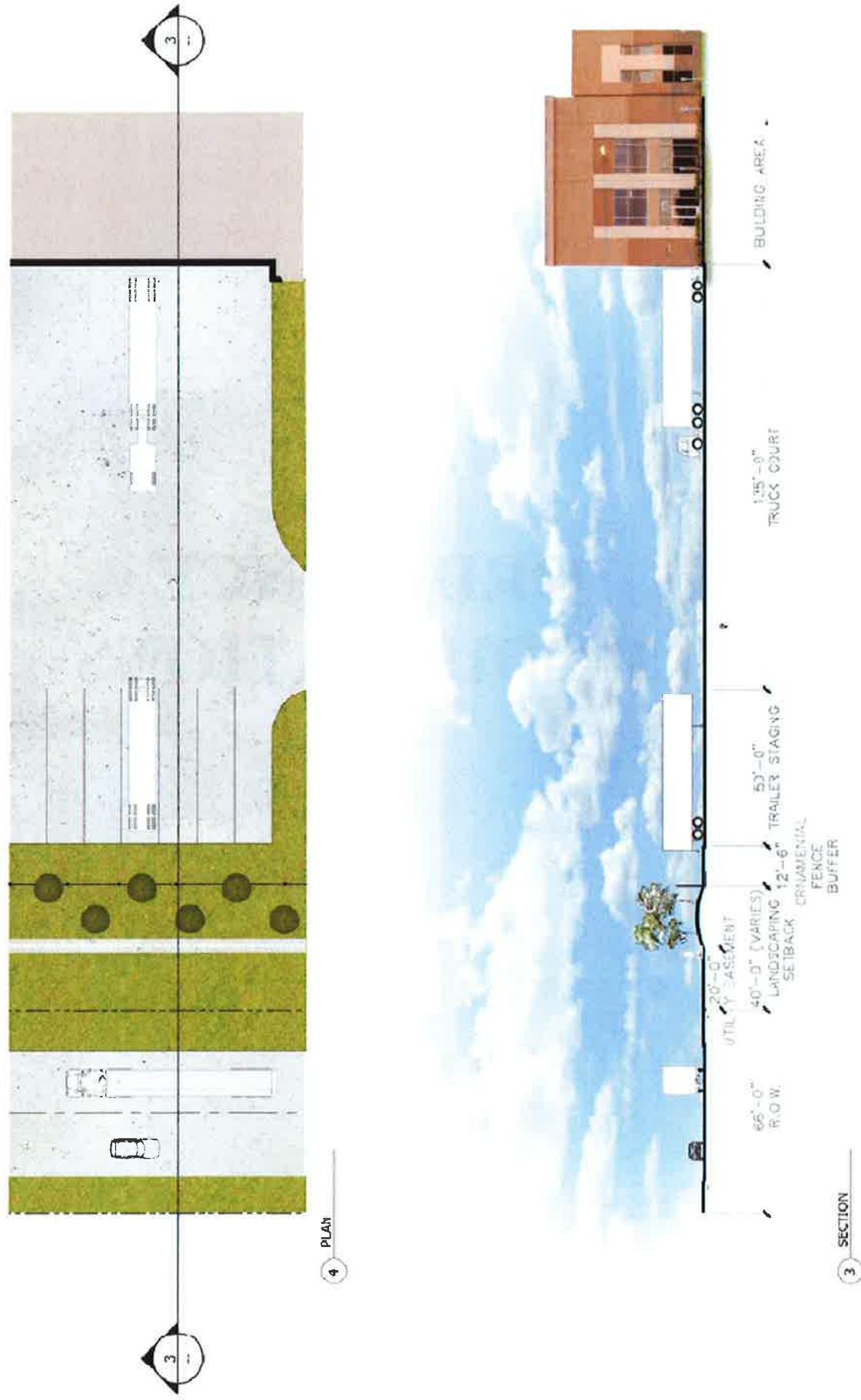
1. Dogwood species (*Cornus racemosa*, *Cornus stolonifera*, *Cornus obliqua*, *Cornus alternifolia*)
2. Witch Hazel (*Hamamelis virginiana*)
3. Elderberry (*Sambucus canadensis*)
4. Black Chokeberry (*Aronia melanocarpa*)
5. Black Haw (*Viburnum prunifolium*)



#### Trees

1. River Birch (*Betula nigra*)
2. Eastern White Pine (*Pinus strobus*)
3. Eastern Red Cedar (*Juniperus virginiana*)
4. Redbud (*Cercis canadensis*)
5. Red Maple (*Acer rubrum*)
6. Oak species (*macrocarpa*, *imbricaria*, *rubra*, *alba*, *bicolor*, *palustris*)
7. Hackberry (*Celtis occidentalis*)
8. Arborvitae (*Thuja occidentalis*)
9. Black Walnut (*Juglans nigra*)
10. Sycamore (*Platanus occidentalis*)





# **ORDINANCE MODIFICATIONS**

## **Ordinance Modifications**

Note: In all cases if an item listed below appears in another section of the Village's codes or ordinances it shall likewise be modified.

**150.02 – Limitation for Construction Activity** (A): Limitations on the hours of construction activity set forth in the Village Codes and Ordinances shall only apply to the Park where construction activity is conducted within one thousand feet (1,000') of an occupied residential structure, which may be subject to modification and limitations in the event of construction activity for public improvements.

**150.06 – Cargo Container Storage Facilities**, up to three containers high, will be an allowed use in the Park; provided, the total amount of the Park utilized for a Container Storage Facility shall not exceed 33 acres but shall not be less than 20 acres, the Container Storage Facility shall not be located on the Elwood Property, the Container Storage Facility shall be located on one parcel, the Container Storage Facility shall not be located contiguous to a Primary Road, unless otherwise agreed to by the Village, and the Container Storage Facility shall be subject to a payment of lieu of taxes in the amount of \$0.35 per square foot of gross land area (or the equivalent of \$15,246 per acre) of such Container Storage Facility.

### **151.02 – Industrial Impact**

(A)(1): Given the financial benefits to the Village, and donation to the Village of retail zoned land, and donation to the Village of land for a public works facility, the requirement to set-aside 10% of the Park for public use, or, in lieu there-of, make a payment to the Village equal to 10% of the acreage of the Park times \$20,000 per acre will not be applicable to the Park. No donation or set-aside of land for public use, or payment in lieu of, will be due for the Park, other than as otherwise agreed to by the parties.

(B)(2): Given the benefits accruing to local public bodies from the proposed development of the Park, including the recreational, park enhancements, and Learning & Career Center, the requirement to donate land, or cash in lieu of, for schools, parks, libraries, or any other use will not be applicable to the Park. No donation of land, or payment in lieu of, will be due for schools, parks, libraries, or any other use, for the Park, other than as otherwise provided by mutual agreement.

### **153 – Building Code; and Ordinance 1043 – An Ordinance Establishing a Uniform Building Code**

1. The Village agrees, and the Village has confirmed the Elwood Fire District agrees, that for any building equipped with an ESFR fire protection system, and equipped with mechanical smoke venting capable of one air change per hour via roof-mounted exhaust fans and roof-mounted gravity-operated intake hoods, the Village and Elwood Fire District will approve an increase in the exit travel distance from 250' to 400' without the need for a smoke study. It is further agreed that the mechanical smoke venting system may be used by the building occupant for fresh air ventilation provided the appropriate controls are included.

2. The Village agrees, and the Village has confirmed the Elwood Fire District agrees, that for any building equipped with an ESFR fire protection system the Village and the Elwood Fire District will require the location of fireman entry doors only where required to provide internal exiting provided each exit door is equipped with a fireman's hose drop.
3. The Village agrees, and the Village has confirmed the Elwood Fire District agrees, that for any building equipped with an ESFR system the Village and the Elwood Fire District will not require a fire detection system in the warehouse area.
4. The Village agrees that permits for any facility on the Park will be issued in phases. The Village will accept and review the plans for each phase of work, and will issue comments, or permits, within fifteen (15) business days following submittal of the necessary information for the permit phase sought. The phases may include, but are not limited to the following:
  - Grading and excavating;
  - Underground utilities;
  - Building foundations;
  - Building shell;
  - Fire sprinkler;
  - Shell electrical, HVAC, and plumbing;
  - Interior improvements;
  - Tenant racking, equipment, furniture, and fixtures;
  - Occupancy.
5. The Village and the Elwood Fire District agree, that fire protection systems do not have to be "zoned" by tenant.

## **156 – Stream and Wetland Protection**

156.05 and 156.07: Provided Owner complies with all laws and regulations of the applicable agency(ies) with jurisdictional authority over stream and wetland protection and modification, including, but not limited to the Army Corps of Engineers, FEMA, IDOT, and IEPA, these sections of the village code will not be applicable to the Park. The Village hereby agrees that, other than the Manhattan Creek, Owner may relocate any streams or watercourses on the Park, including into underground pipes, provided Owner obtains approval from all applicable agencies.

## **161 – Subdivision**

161.023 and 161.024 – Procedure for Preliminary and Final Plat Approval: A clarification that preliminary and final plats for subdivisions of the Park may proceed contemporaneously.

161.025 – Procedure for Site Plan Approval: Because of the comprehensive nature of the Park's intended development and PUD, and due to the comprehensive codes and ordinances of the Village, review of the site plan for any building proposed to be constructed on a subdivided parcel, on a parcel which has been submitted to the Village for subdivision, or on a parcel exempt from

subdivision requirements will be performed by Village staff for compliance with the Village's codes and ordinances, as modified herein and by mutual agreement. Therefore, the site plan for such building will not be required to be submitted to, or reviewed by the Plan Commission or the Village Board. If Village staff finds the site plan for such building complies, staff will, upon submittal and subsequent approval of the appropriate plans, as mentioned above, grant permits for all phases of construction, mentioned above, except that "occupancy" permits will not be issued prior to subdivision of the subject parcel, unless the subject parcel is exempt from subdivision requirements.

161.048(B)(3) and 161.054(B)(3) – Performance and Maintenance Guarantee: The Village agrees that bonds are a form of financial assurance acceptable to the Village.

161.065 – Prerequisites for Issuance of Building Permits

(A) This requirement is modified in 161.025 above.

(B) This requirement is waived other than the requirement for suitable access for emergency vehicles. Such access can be provided via a stone construction road properly maintained by Owner.

(B)(2): The reference to "30 days" is modified to "90 days" and the word "reasonable" shall be inserted prior to the word "discretion".

161.105 – Preservation of Natural Features: Manhattan Creek is a natural feature within the Park.

161.111 – Private Utilities – Existing, overhead utilities in or serving the Park will not be required to be placed or relocated underground. All new utilities at the Park will be located underground.

161.112 – Site Plan Requirements (includes architectural requirements)

(A)(2)(a): This paragraph of the Village code is modified to require that Owner must provide ornamental/architectural features on building walls that face a public street along the lesser of (i) 20% of the total length of the wall facing such public street, or, (ii) 160 feet.

(A)(2)(c): The Village agrees that loading docks and trailer storage will be allowed in front of buildings on the Park, and in the area abutting public and private streets provided a green space is maintained between the back of curb of the public or private street and the back of curb of the trailer storage pavement area, or the truck dock maneuvering pavement area per the Table of Standards. Fences installed in the aforementioned green space shall be ornamental and shall be located per the Table of Standards. All other fences at the Park may be vinyl coated chain link.

(A)(2)(d): A clarification that any equipment placed on a building roof for heating, ventilating, or air conditioning of the warehouse or manufacturing area need not be screened provided it is located at least 60' back from the nearest edge of the building.

(B)(3): A clarification, correction, or modification that Owner shall provide for any building on the Park one approved planting for each 5,000 square feet of gross lot area.

(E) Access: In order to facilitate the separation of passenger vehicles and trucks, the requirement for 75' separation for curb cuts will be reduced to 25' for the Park per the Table of Standards. The limitation of two curb cuts per site will not be applicable to the Park. The limitation of 40' width for curb cuts will be increased to 48' (as measured at the narrowest point) for the Park, with the ability to increase the width in situations where truck turning requirements dictate.

Appendix B – Car Parking Dimensions: Car stalls on the Park will measure 9' in width and 18' in length to the face of an adjoining curb or the line separating an adjacent car stall. Drive aisles will measure 24'. One landscape island will be provided for every twenty cars in car parking lots on the Park. The landscape islands will have an inside dimension of 9' in width and will be planted with one tree.

## **162 – Zoning**

### **General**

#### **162.069 – I-2 Light Industrial District**

(F) Density and Dimensional Requirements. See Table of Standards.

162.069(F)(4) – Clarification that the maximum impervious coverage on each parcel shall be 87.5%.

162.069(F)(5) – Building Height Limitations: Building heights up to 65' will not require a special use permit. Front Yard and Corner Side Yard setbacks required by zoning, as amended by mutual agreement, will be increased by one foot for each two feet of building height in excess of forty-five feet (45'). Building height will be measured from finished floor to the mid-height of the sloped roof. Chimneys, cooling towers, elevator head houses, storage silos, tanks, water towers, roof-mounted HVAC equipment, antennas, and other appurtenant equipment usually required to be placed above the roof level are not subject to the increased setback provision herein prescribed.

#### **162.151 – Location of Off-Street Parking and Loading**

(D)(2) It is expressly acknowledged and agreed by the Village that car parking and truck maneuvering areas may serve adjacent lots as long as the total number of required car parking stalls and loading berths for each building are provided. Shared car parking stalls and/or truck maneuvering pavements may cross shared property lines and, in such cases, no setback or green space requirement shall be applicable.

#### **162.177 – Signs Permitted in Industrial Zoning Districts**

(E)(2) Wall Signs: The maximum area of wall signs within the Park will be 200 square feet per sign.

(E)(3) Number of Wall Signs: A business located within the Park will be allowed two wall signs if the signs are located on two different elevations, or on the same elevation but at least 400' apart.

Village of Elwood Engineering Technical Standards dated April 19, 2006

Section 2.02(A)(2): The parties acknowledge that the traffic study contemplate all required street improvements, so for purposes of clarification, there will be no requirement for Owner to improve roads adjacent to the Park, unless otherwise agreed to by the parties.

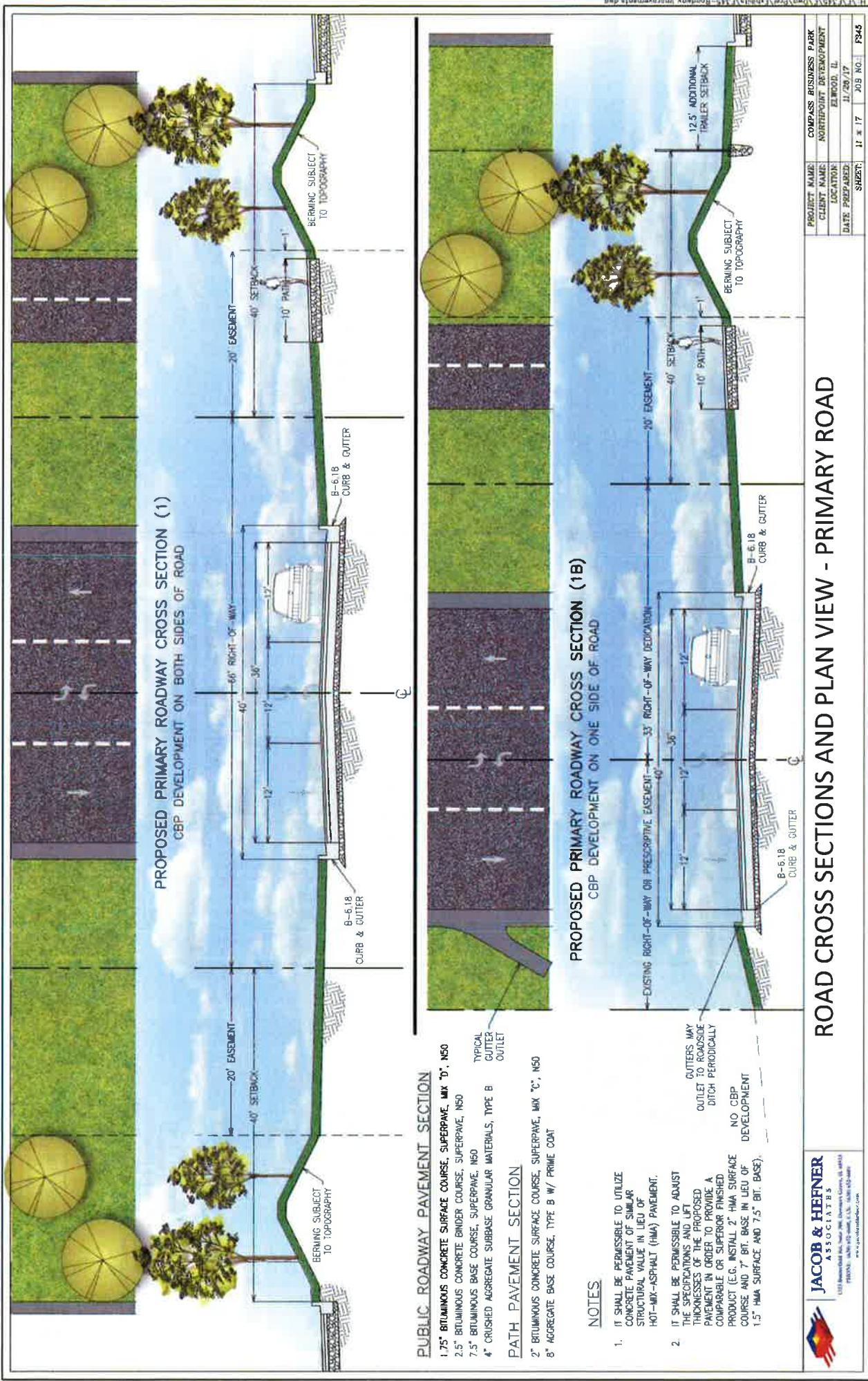
Section 3.02(E)(1): A clarification that temporary dead-end watermains may be over 100' in length.

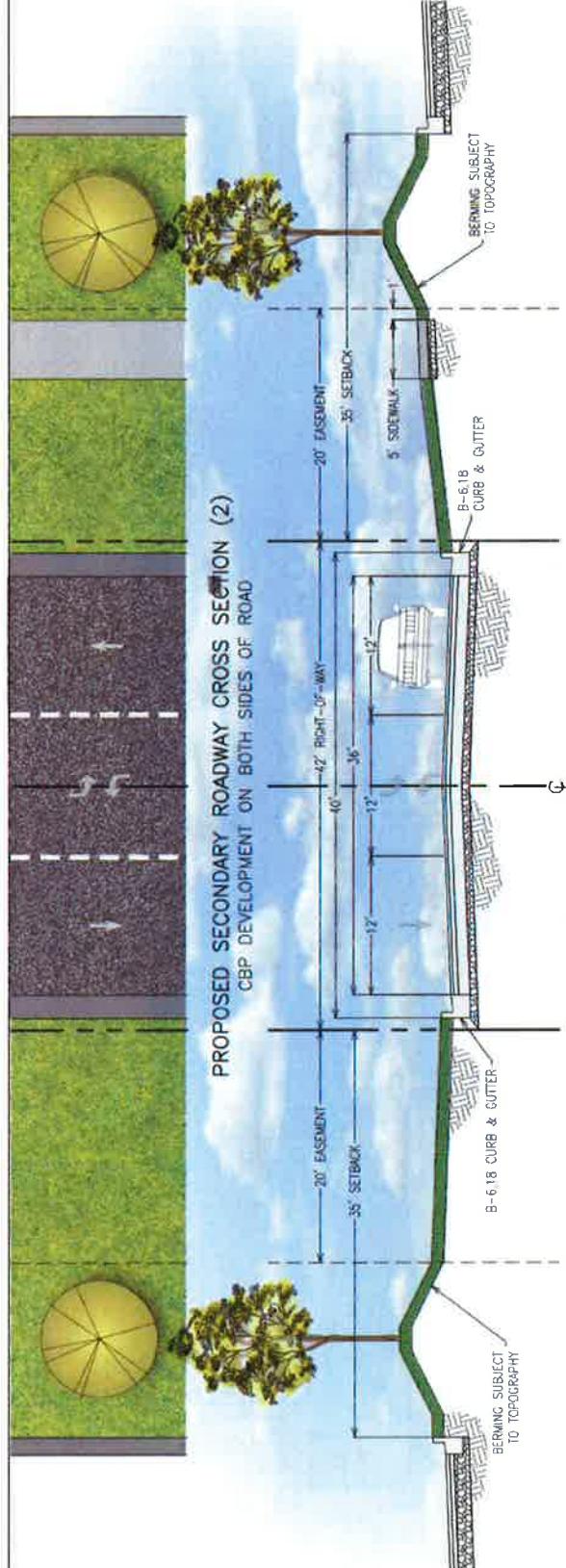
Section 4.04(F)(1): A clarification that sanitary sewer service connections to the main need not be "wye" connections.

Section 5.03(B)(1): A clarification that side slopes of all detention facilities may be 3:1, and that the maximum allowable difference between "normal" water level and "high" water level may be 10'.

# **ROAD CROSS SECTIONS AND PLAN VIEW**







**PUBLIC ROADWAY PAVEMENT SECTION**

1.75" BITUMINOUS CONCRETE SURFACE COURSE, SUPERPAVE, MIX "D", NSD

2.5" BITUMINOUS CONCRETE BINDER COURSE, SUPERPAVE, NSD

7.5" BITUMINOUS BASE COURSE, SUPERPAVE, NSD

4" CRUSHED AGGREGATE SUBBASE GRANULAR MATERIALS, TYPE B

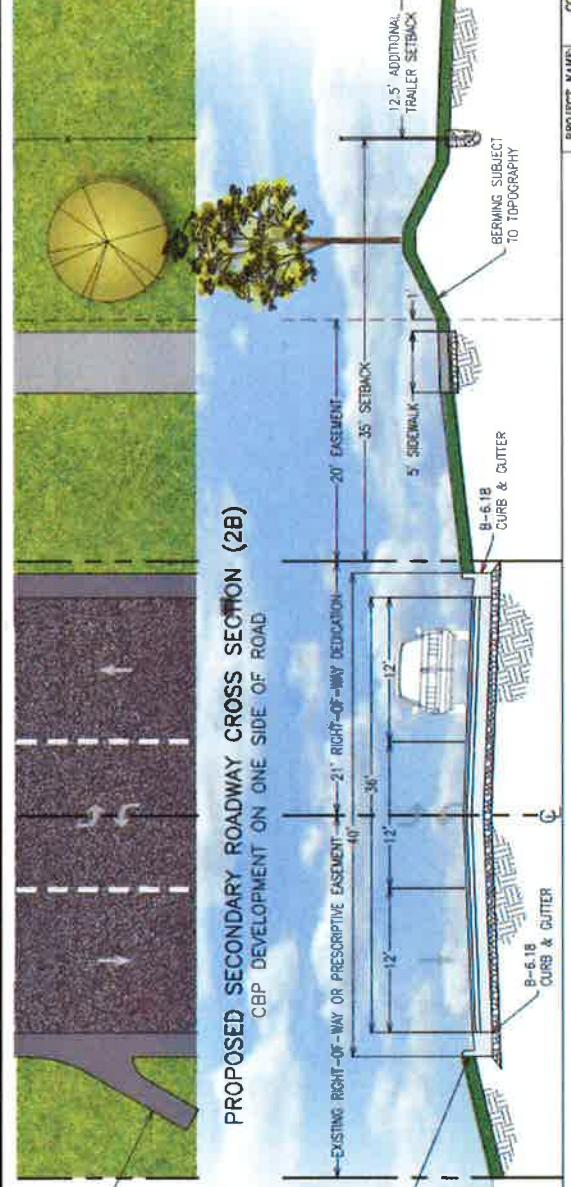
**SIDEWALK PAVEMENT SECTION**

5" PORTLAND CEMENT CONCRETE, SI. 3,500 PSI @ 14 DAYS

4" CA-6 STONE BASE

**NOTES**

1. IT SHALL BE PERMISSIBLE TO UTILIZE CONCRETE PAVEMENT OF SIMILAR STRUCTURAL VALUE IN LIEU OF HOT-MIX-ASPHALT (HMA) PAVEMENT.
2. IT SHALL BE PERMISSIBLE TO ADJUST THE SPECIFICATIONS AND LIFT THICKNESSES OF THE PROPOSED PAVEMENT IN ORDER TO PROVIDE A COMPARABLE OR SUPERIOR FINISHED PRODUCT (E.G. INSTALL 2" HMA SURFACE COURSE AND 7" BT. BASE IN LIEU OF 1.5" HMA SURFACE AND 7.5" BT. BASE).



**ROAD CROSS SECTIONS AND PLAN VIEW - SECONDARY ROAD**

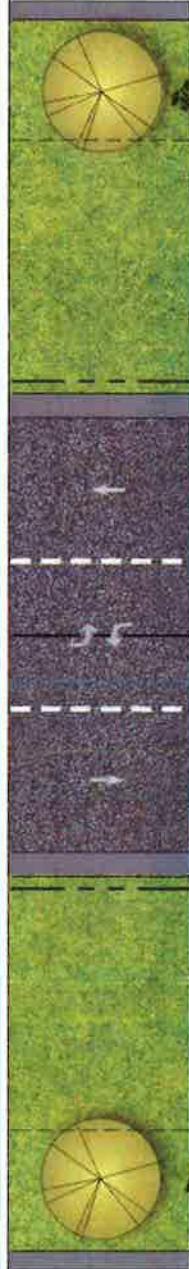
**JACOB & HEFFNER**  
ASSOCIATES

1233 Sherman Ave., Suite 200, Des Moines, Iowa 50312

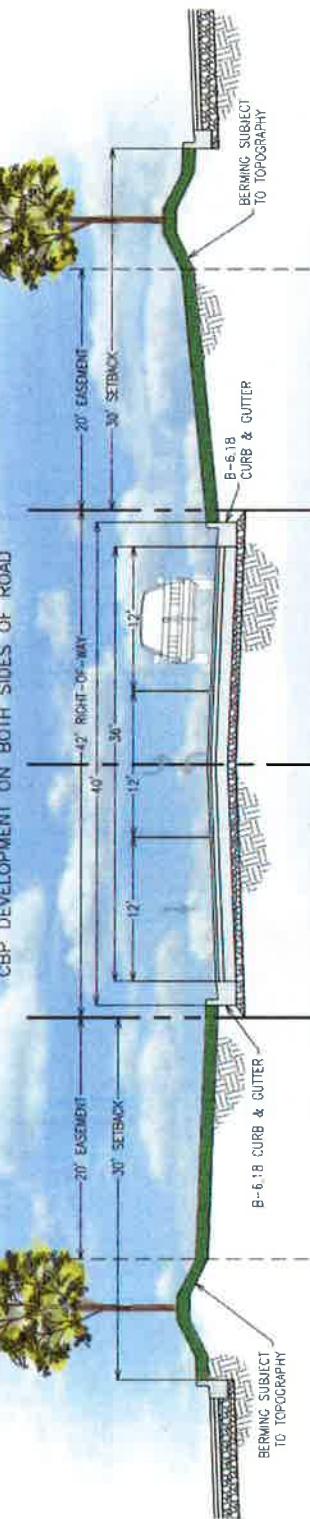
PHONE: (515) 263-1111 FAX: (515) 263-0144

WEBSITE: [www.jacobandheffner.com](http://www.jacobandheffner.com)

PROJECT NAME:	COMPLX. BUSINESS PARK
CLIENT NAME:	NORTHPOINT DEVELOPMENT
LOCATION:	ELWOOD, IA
DATE PREPARED:	11/26/07
SHRINK:	J1 x 17
JOB NO.:	F3445

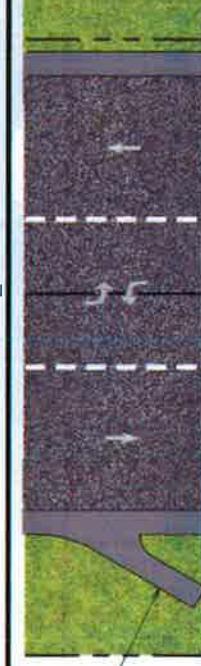


PROPOSED TERTIARY ROADWAY CROSS SECTION (3)  
CBP DEVELOPMENT ON BOTH SIDES OF ROAD



PUBLIC ROADWAY PAVEMENT SECTION

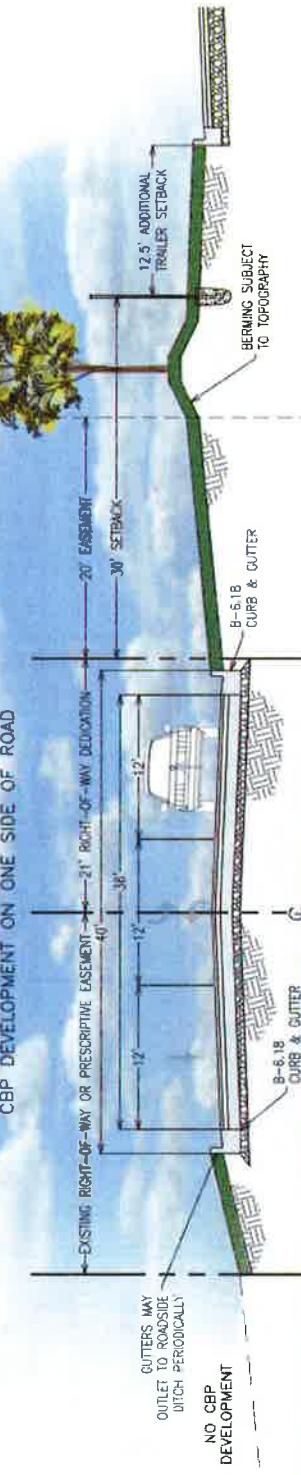
1.75" BITUMINOUS CONCRETE SURFACE COURSE, SUPERPAVE, MIX "D", NS0  
2.5" BITUMINOUS CONCRETE BINDER COURSE, SUPERPAVE, NS0  
7.5" BITUMINOUS BASE COURSE, SUPERPAVE, NS0  
4" CRUSHED AGGREGATE SUBBASE GRANULAR MATERIALS, TYPE B



NOTES

1. IT SHALL BE PERMISSIBLE TO UTILIZE CONCRETE PAVEMENT OF SIMILAR STRUCTURAL VALUE IN LIEU OF HOT-MIX-ASPHALT (HMA) PAVEMENT.
2. IT SHALL BE PERMISSIBLE TO ADJUST THE SPECIFICATIONS AND LIFT THICKNESSES OF THE PROPOSED PAVEMENT IN ORDER TO PROVIDE A COMPARABLE OR SUPERIOR FINISHED PRODUCT (E.G. INSTALL 2" HMA SURFACE COURSE AND 7' 8" BASE IN LIEU OF 1.5" HMA SURFACE AND 7.5" BIT. BASE).

PROPOSED TERTIARY ROADWAY CROSS SECTION (3B)  
CBP DEVELOPMENT ON ONE SIDE OF ROAD



ROAD CROSS SECTIONS AND PLAN VIEW - TERTIARY ROAD

PROJECT NAME:	COMPASS BUSINESS PARK
CLIENT NAME:	NOTWITHSTANDING
LOCATION:	EL WOOD, IL
DATE PREPARED:	11/28/17

11 x 17 109 NO.: F345

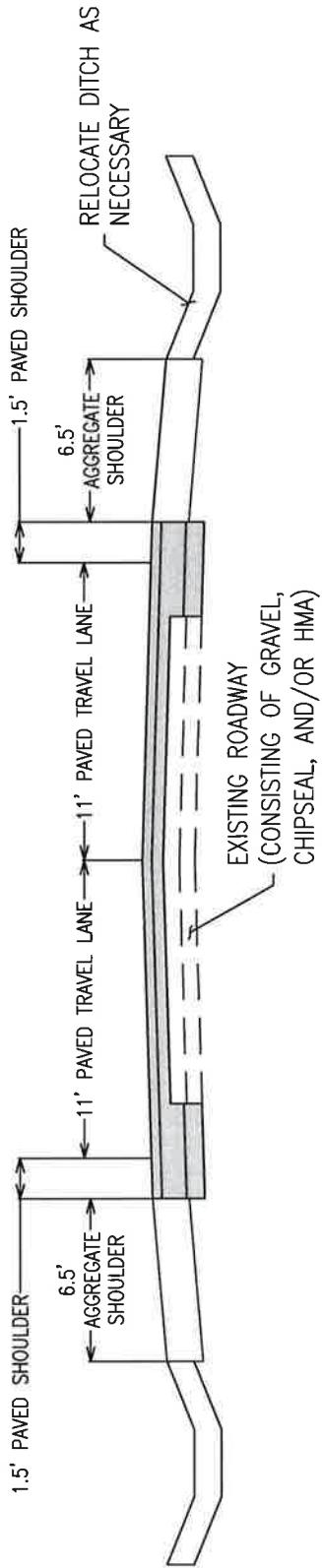


JACOB & HEFFNER  
ASSOCIATES

1111 North Michelin Ave., Suite 300, Elgin, IL 60120-4246  
(847) 362-4400

# ***TOWNSHIP ROAD IMPROVEMENTS CROSS SECTION***

## PROPOSED CROSS SECTION



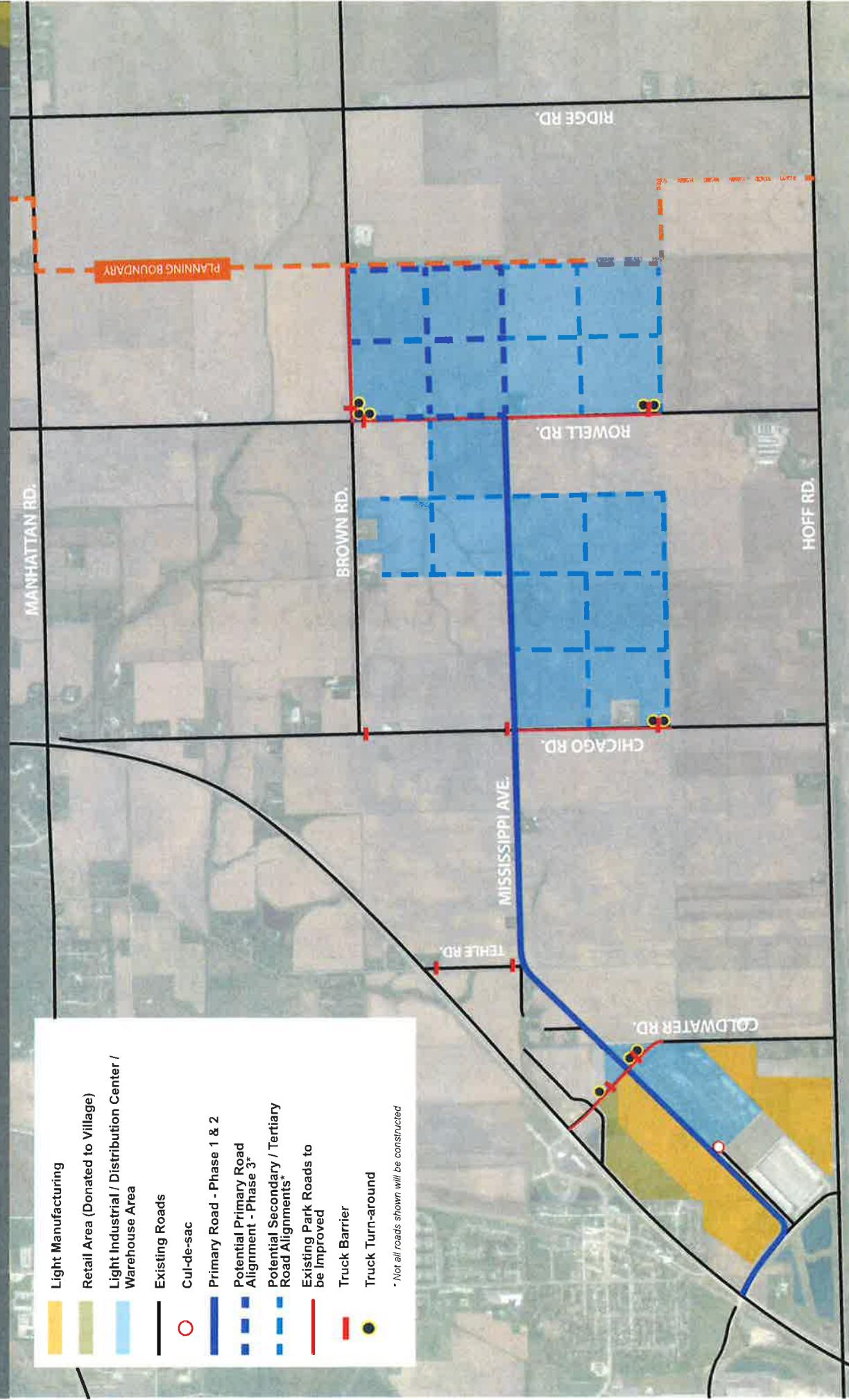
**JACOB & HEFFNER**  
ASSOCIATES  
1333 Butterfield Rd, Suite 300, Downers Grove, IL 60545  
PHONE: (630) 652-4600, FAX: (630) 652-4601  
[www.jacobandheffner.com](http://www.jacobandheffner.com)

## **ROAD CROSS SECTIONS AND PLAN VIEW**

### **TOWNSHIP ROAD**

PROJECT NAME:	COMPASS BUSINESS PARK	
CLIENT NAME:	NORTHPOINT DEVELOPMENT	
LOCATION:	ELWOOD, IL	
DATE PREPARED:	11/29/17	
SHEET:	EXHIBIT	JOB NO. F345

# **CONCEPT PLAN**

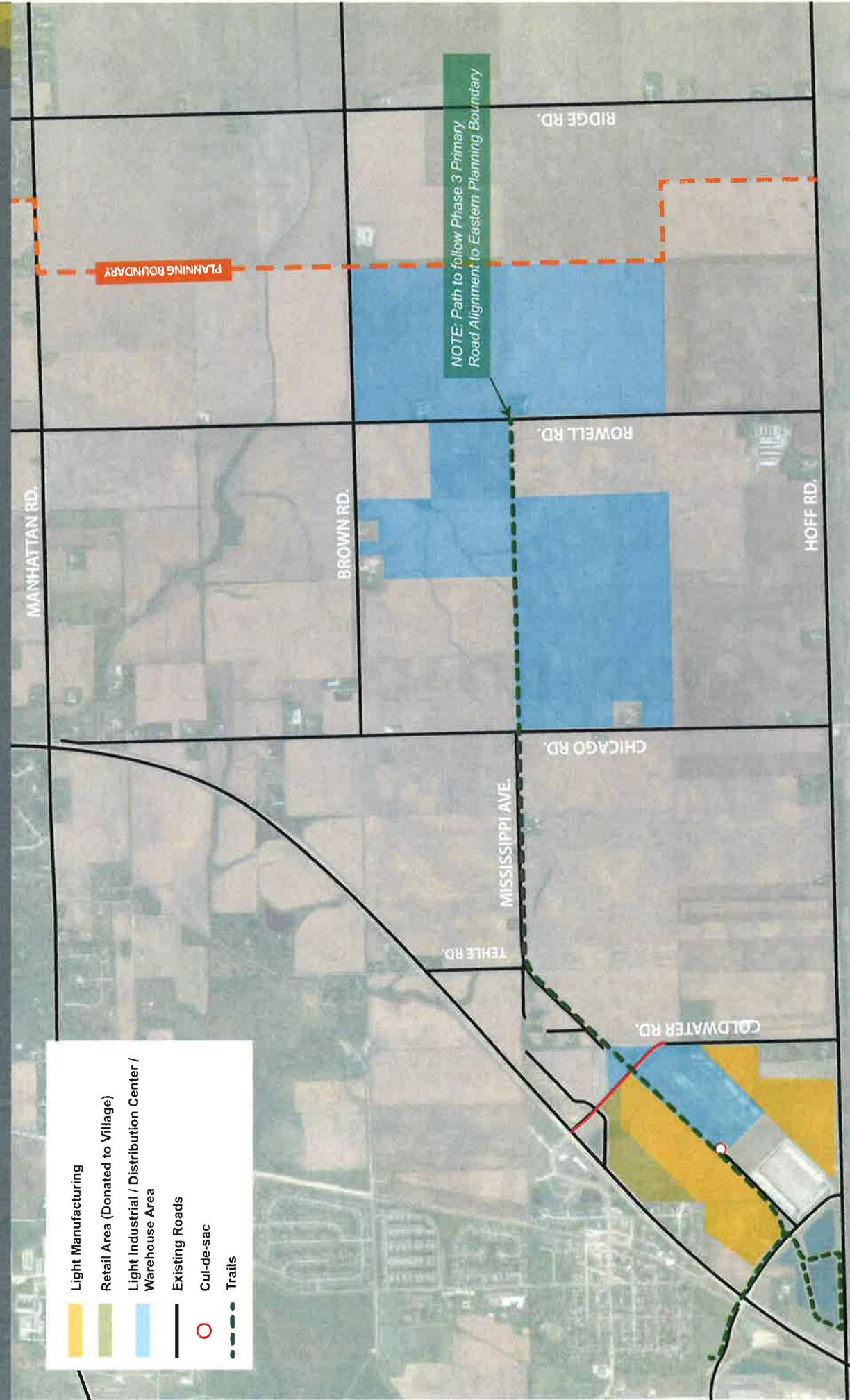


PHASE 1 → PHASE 2 → PHASE 3 →

 PHASE 1  
PHASE 2

# **BIKE & PEDESTRIAN PATHS**

## Bike and Pedestrian Paths



PHASE 1

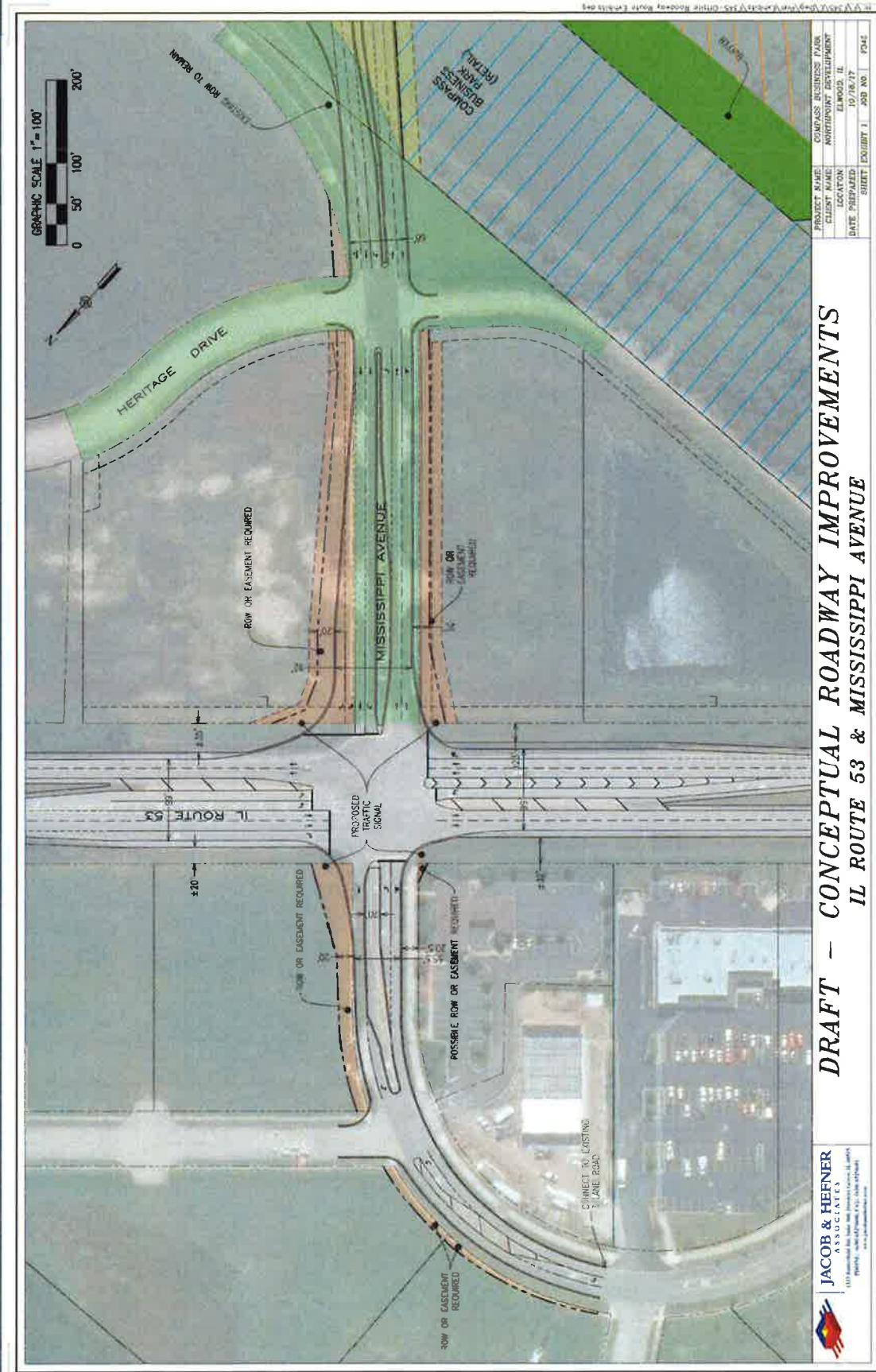
PHASE 2

PHASE 3

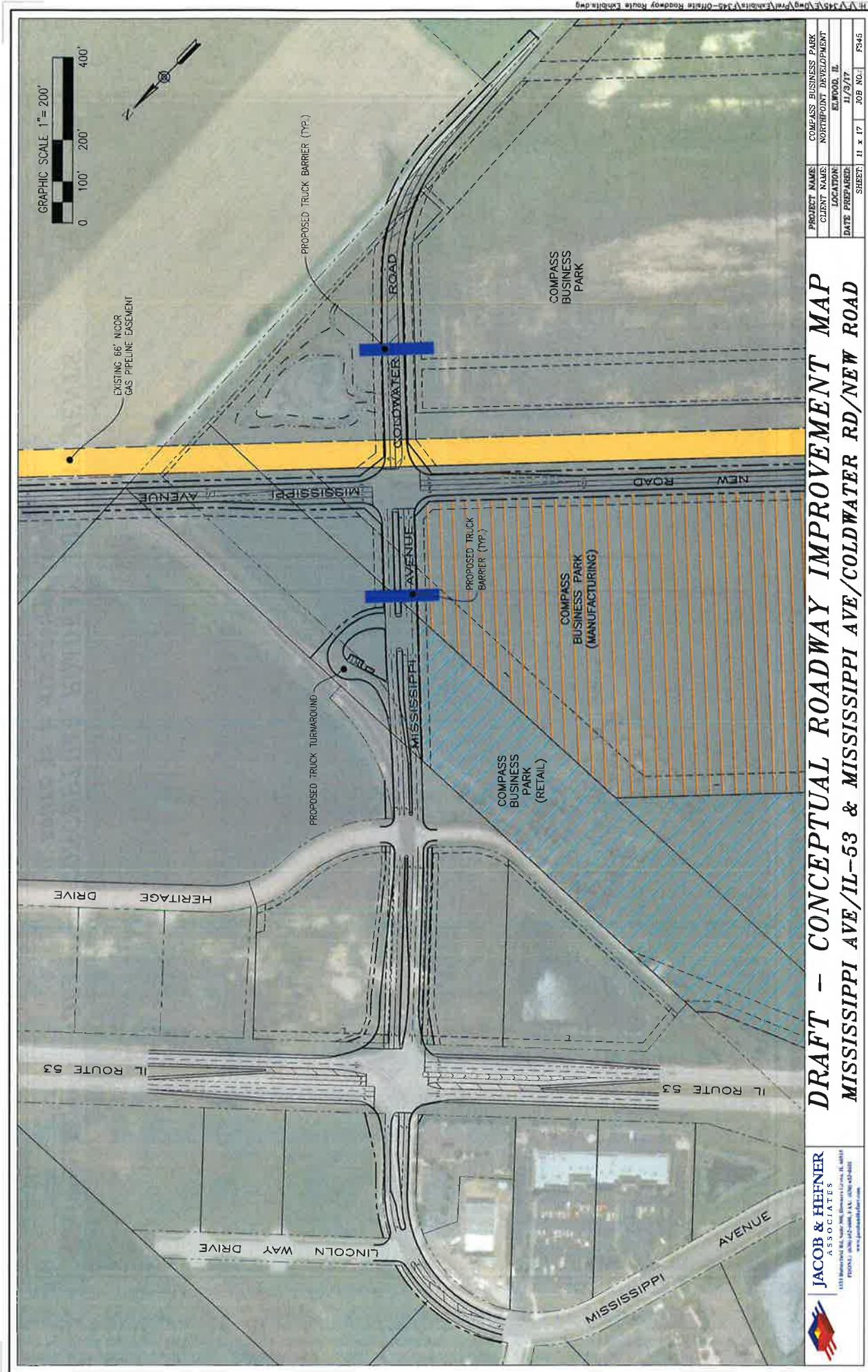
# **NEW ROAD LAYOUT**



# **MISSISSIPPI & ROUTE 53 IMPROVEMENTS**



MISSISSIPPI AND 53 IMPROVEMENTS



# **BRIDGE RENDERINGS**



BRIDGE RENDERINGS



## Bridge Renderings



## BRIDGE RENDERINGS



## Bridge Renderings



**COMPASS**  
BUSINESS PARK

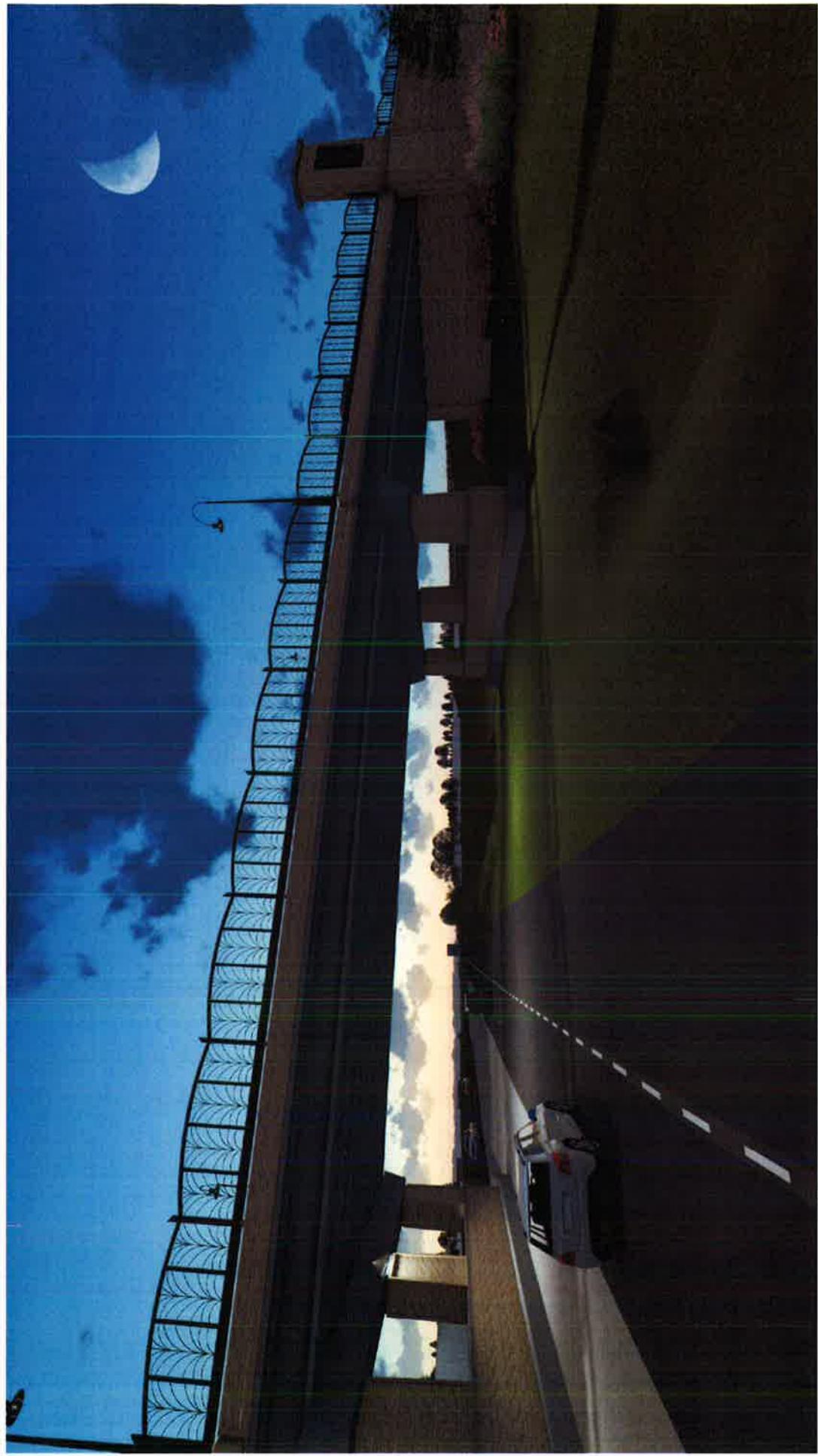
## Bridge Renderings



BRIDGE RENDERINGS



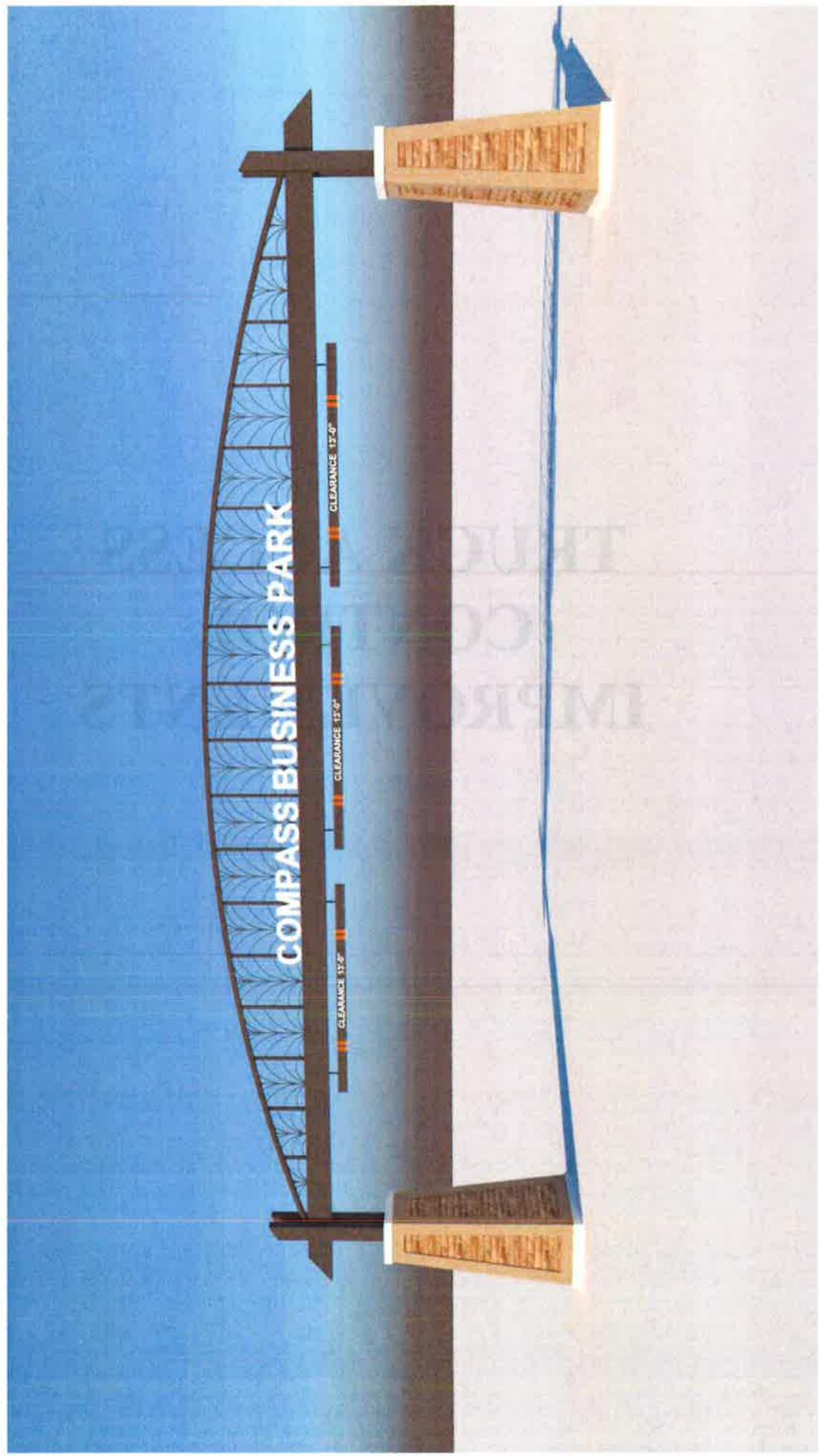
## Bridge Renderings



# **TRUCK ACCESS CONTROL IMPROVEMENTS**

COMPASS  
BUSINESS PARK

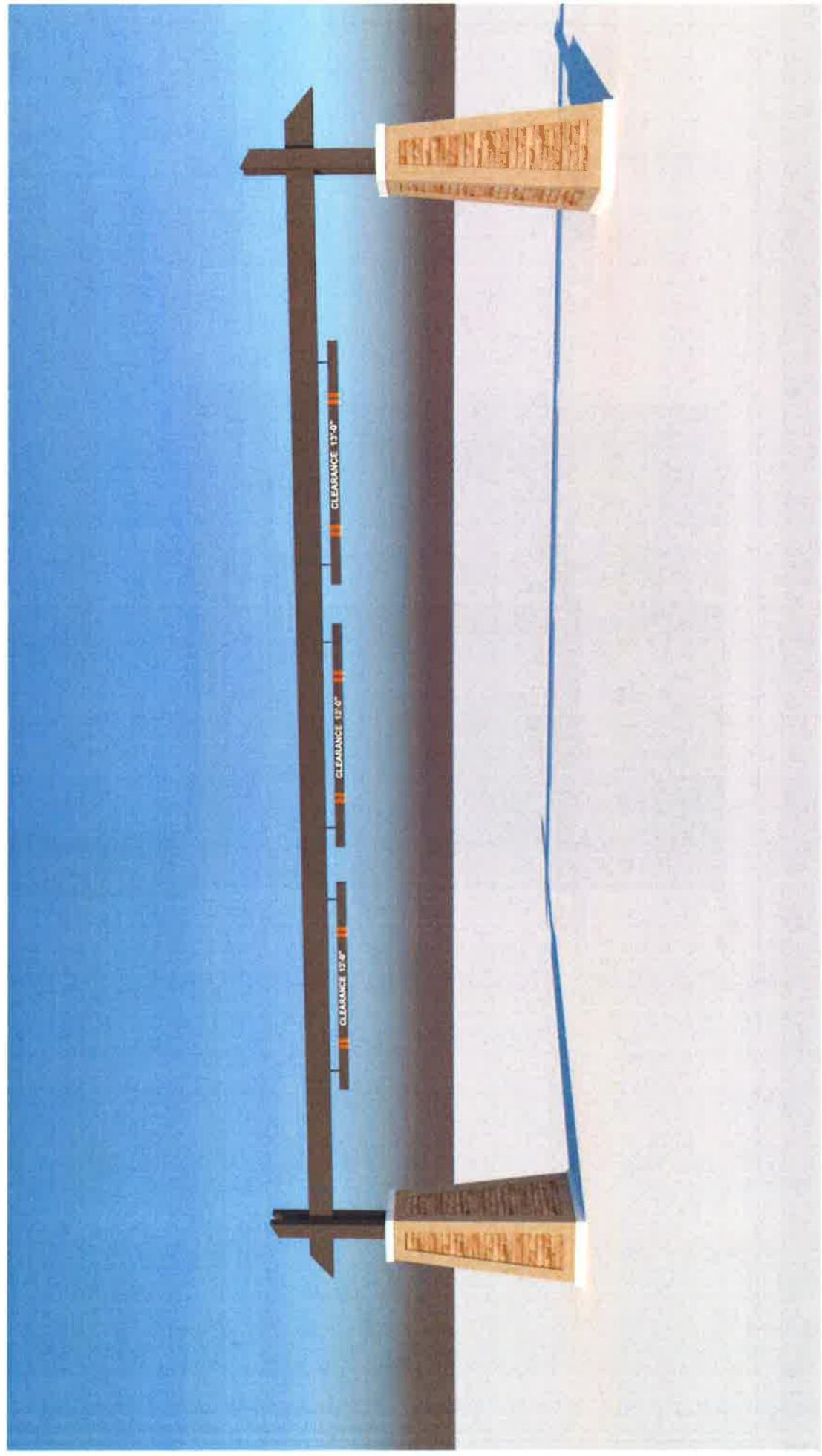
TRUCK ACCESS CONTROL IMPROVEMENTS



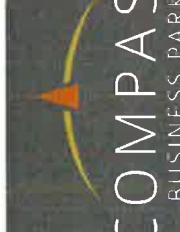
MAIN PARK ENTRANCE - TRUCK BARRIER



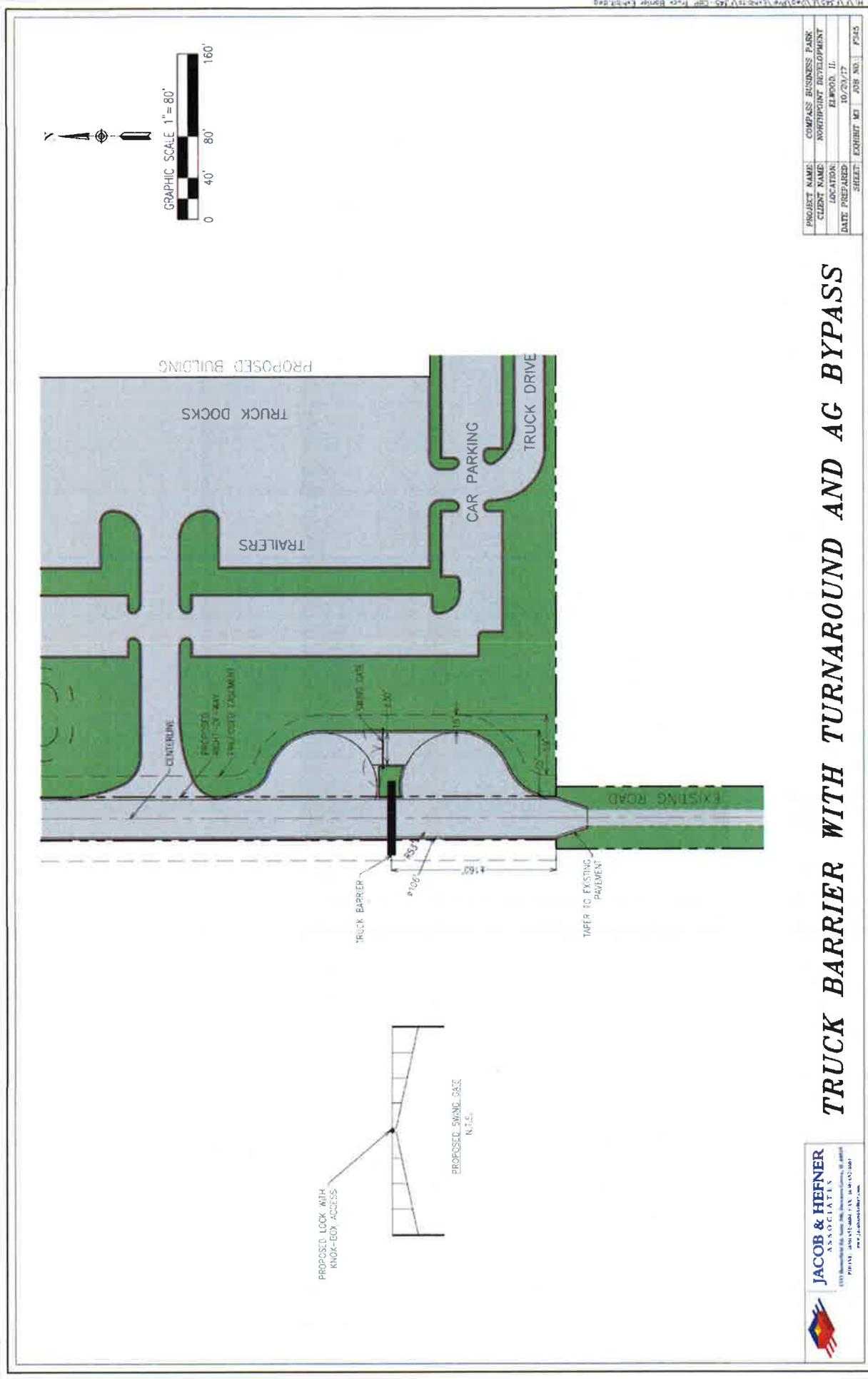
## TRUCK ACCESS CONTROL IMPROVEMENTS

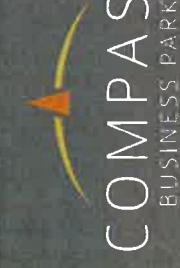


SECONDARY PARK ENTRANCE - TRUCK BARRIER

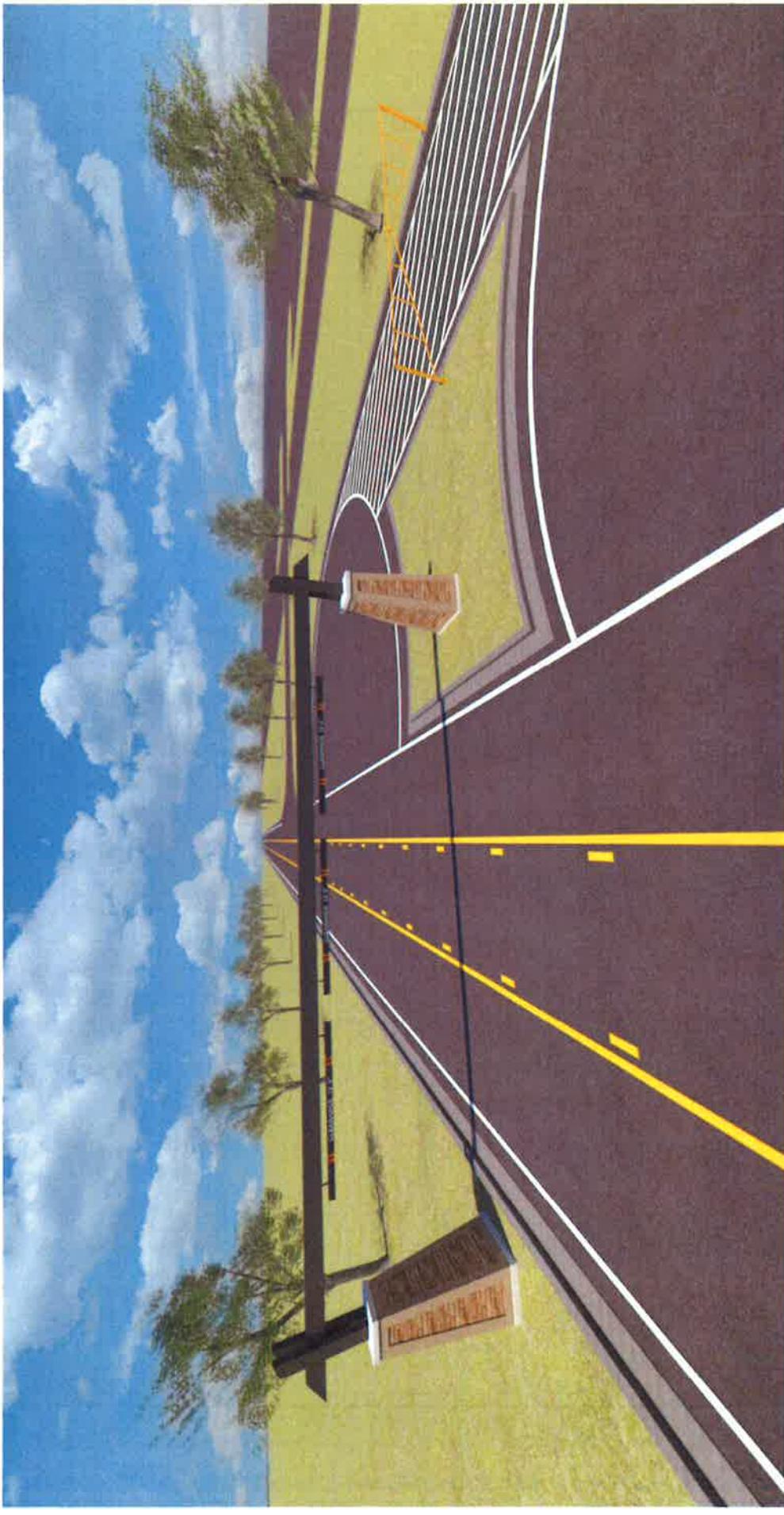


## TRUCK ACCESS CONTROL IMPROVEMENTS



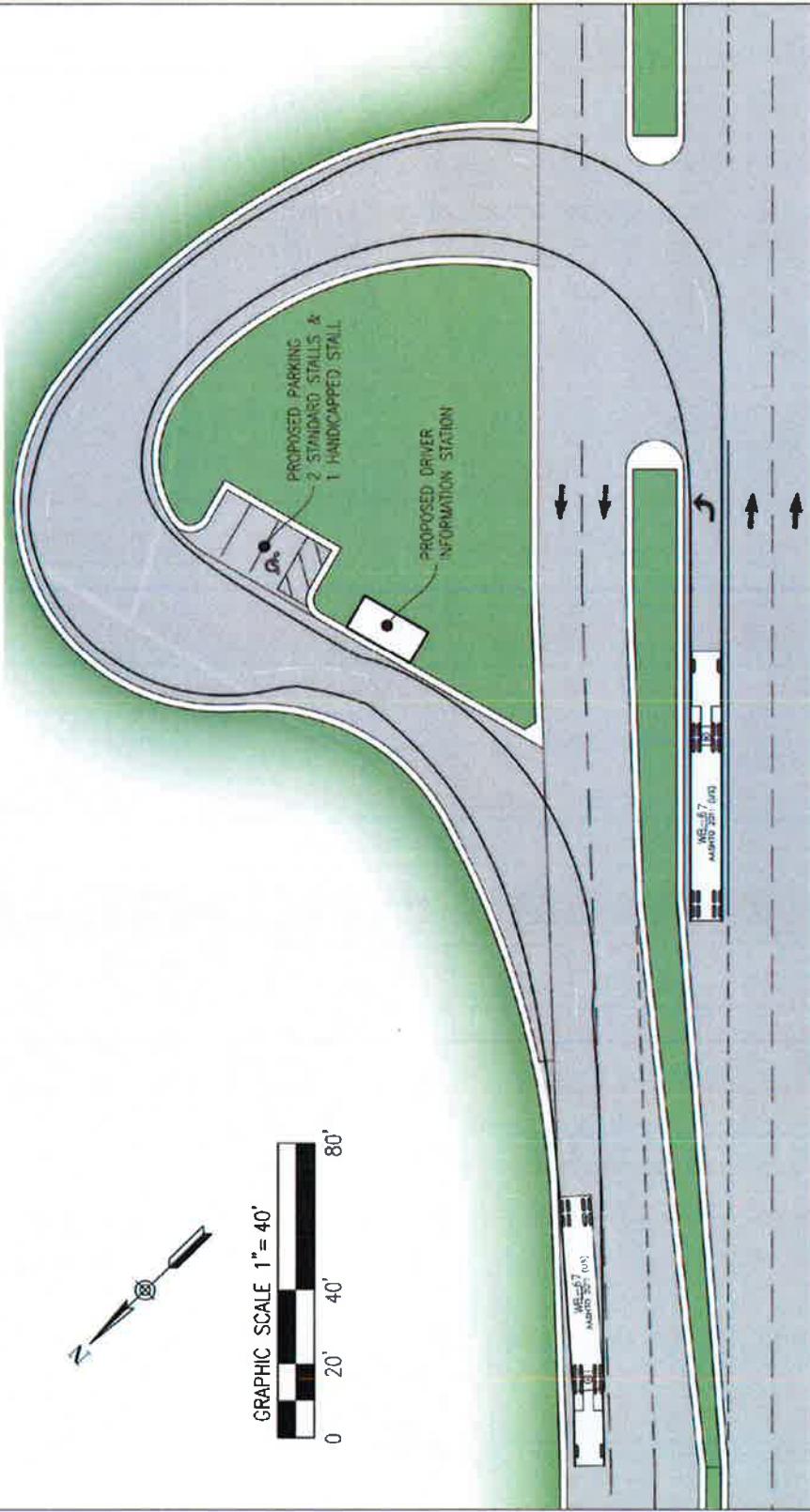


## TRUCK ACCESS CONTROL IMPROVEMENTS



## TRUCK BARRIER WITH TURNAROUND AND AG BYPASS

## MISSISSIPPI ENTRANCE TRUCK TURN-AROUND



H:\F345\H\DWG\Pre\Exhibits\F345-Turning Movements-Mississippi.dwg

PROJECT NAME:	COMPASS BUSINESS PARK
CLIENT NAME:	NORTHPOINT DEVELOPMENT
LOCATION:	ELWOOD, IL
DATE PREPARED:	10/26/17
HEET: 8.5 x 11	JOB NO. F345

<b>JACOB &amp; HEFFNER</b> ASSOCIATES
1155 Butterfield Rd, Suite 300, Downers Grove, IL 60515
PHONE: (847) 446-1340, (847) 652-4441 www.jacobandheffner.com

# **ADDITIONAL EXEMPLARY FEATURES OF COMPASS BUSINESS PARK**



## Additional Exemplary Features of Compass Business Park



Slide 1: Building with Landscaping



## Additional Exemplary Features of Compass Business Park



Slide 2: Pedestrian Access to Midewin  
Page 10 of 34



## Additional Exemplary Features of Compass Business Park



Slide 3: Pedestrian Path over Bridge



## Additional Exemplary Features of Compass Business Park



Slide 4: Bridge View from Southeast



## Additional Exemplary Features of Compass Business Park



Slide 5: Mississippi and Route 53 Improvements – Parkway Entry



## Additional Exemplary Features of Compass Business Park



Slide 6: Bridge View at Dusk

\*Working concept Not to scale



## Additional Exemplary Features of Compass Business Park



Slide 7: Mississippi Realignment, Parkway Entry with Overhead Barrier



## Additional Exemplary Features of Compass Business Park



Slide 8: Bridge View from Northeast



## Additional Exemplary Features of Compass Business Park



Slide 9: Bridge View from Northwest at Ground Level  
Page 78 of 79



## Additional Exemplary Features of Compass Business Park



Slide 10: Mississippi Road Parkway Entry with Turnaround



**REZONING DEPICTION  
AND  
LEGAL DESCRIPTION**



## **Rezoning Legal Description**

### **TRACT "B" (P.I.N. 10-11-29-401-003-0000)**

ALL OF LOT 4 IN CENTERPOINT INTERMODAL CENTER EAST UNIT ONE, BEING A SUBDIVISION OF PART OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 22, 2008, AS DOCUMENT NUMBER 2008-147917, IN WILL COUNTY, ILLINOIS.

### **TRACT "D" (P.I.N. 10-11-29-401-001-0000)**

ALL OF LOT 5 IN CENTERPOINT INTERMODAL CENTER EAST UNIT ONE, BEING A SUBDIVISION OF PART OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 22, 2008, AS DOCUMENT NUMBER 2008-147917, IN WILL COUNTY, ILLINOIS.

### **TRACT "E" (P.I.N. 10-11-29-207-004-0000)**

ALL OF LOT 2 IN CENTERPOINT INTERMODAL CENTER EAST UNIT ONE, BEING A SUBDIVISION OF PART OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 22, 2008, AS DOCUMENT NUMBER 2008-147917, IN WILL COUNTY, ILLINOIS.

### **TRACT "F" (P.I.N. 10-11-29-207-003-0000)**

ALL OF LOT 6 IN CENTERPOINT INTERMODAL CENTER EAST UNIT ONE, BEING A SUBDIVISION OF PART OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 22, 2008, AS DOCUMENT NUMBER 2008-147917, IN WILL COUNTY, ILLINOIS.

### **TRACT "I" (P.I.N. 10-11-27-100-008-0000)**

THE WEST 1347.98 FEET OF THE NORTHWEST QUARTER, EXCEPT THE SOUTH 1343.14 FEET THEREOF, IN SECTION 27, IN TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

**TRACT "K" (P.I.N. 10-11-27-100-005-0000)**

THE SOUTHERN 1343.14 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS. ALSO, THE SOUTHERN 1343.14 FEET OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS, EXCEPTING THEREFROM THE NORTH 466.70 FEET OF THE SOUTH 996.70 FEET OF THE WEST 466.70 FEET THEREOF.

**TRACT "L" (P.I.N. 10-11-27-100-007-0000)**

THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS, EXCEPT THE SOUTHERN 1343.14 FEET THEREOF. ALSO, THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS, EXCEPT THE SOUTHERN 1343.14 FEET THEREOF AND ALSO EXCEPTING THE WESTERN 1347.98 FEET THEREOF.

**TRACT "M" (P.I.N. 10-11-22-400-010-0000)**

THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, IN TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS. ALSO, THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, EXCEPTING THEREFROM THE NORTH 400 FEET OF THE WEST 415 FEET THEREOF AND ALSO EXCEPTING THAT PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHEAST QUARTER; THENCE WEST, ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER 1664.12 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING WEST, ALONG SAID NORTH LINE 300.00 FEET; THENCE SOUTH, PERPENDICULAR TO THE LAST DESCRIBED COURSE, 363.00 FEET; THENCE EAST, PERPENDICULAR TO THE LAST DESCRIBED COURSE, 300.00 FEET; THENCE NORTH, PERPENDICULAR TO THE LAST DESCRIBED COURSE, 363.00 FEET, TO THE POINT OF BEGINNING, IN TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

**TRACT "N" (P.I.N. 10-11-22-400-007-0000)**

THE NORTH 10 ACRES OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, IN TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

**TRACT "O" (P.I.N. 10-11-22-400-008-0000)**

THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22 IN TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT THE NORTH 10 ACRES THEREOF, IN WILL COUNTY, ILLINOIS.

**TRACT "P" (P.I.N. 10-11-23-300-001-0000)**

THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.



**OWNER'S AFFIDAVIT**

The undersigned, being duly sworn on oath, does state that he/she is the owner or legal representative of the owner of the property as set forth herein and that NorthPoint Development, LLC and/or East Gate – Logistics Park Chicago, LLC have been authorized to submit an application to the Village of Elwood, Illinois for all rezoning, planned unit developments, preliminary and/or final plats, concept plans and similar requests and entitlements upon the property located at:

**TRACT "E" (P.I.N. 10-11-29-207-004-0000)**

ALL OF LOT 2 IN CENTERPOINT INTERMODAL CENTER EAST UNIT ONE, BEING A SUBDIVISION OF PART OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 22, 2008, AS DOCUMENT NUMBER 2008-147917, IN WILL COUNTY, ILLINOIS

and that the employees, agents and elected and appointed officials of the Village of Elwood, Illinois hereby are granted permission to enter onto the property to perform a visual inspection and familiarize themselves with conditions of the property during reasonable hours. This permission is granted in connection with the above-named applications pending before the Village of Elwood, Illinois.

[Separate Signature Page Follows]

**OWNER:**

COMPASS BUSINESS PARK OWNER'S  
ASSOCIATION f/k/a CenterPoint Intermodal  
Center-East Property Owners' Association

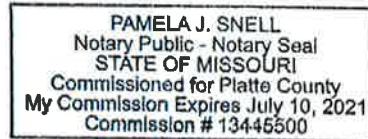
By:

**Nathaniel Hagedorn, its President**

STATE OF MISSOURI )  
 ) SS.  
COUNTY OF PLATTE )

Subscribed and sworn to before me this 30th day of November, 2017.

Jamela J. Sneed  
Notary Public



**OWNER'S CONSENT**

The undersigned, being duly sworn on oath, does state that he/she is the owner or legal representative of the owner of the property as set forth herein and that NorthPoint Development, LLC and/or East Gate – Logistics Park Chicago, LLC have been authorized to submit an application to the Village of Elwood, Illinois for all rezoning, planned unit developments, preliminary and/or final plats, concept plans and similar requests and entitlements upon the property located at:

**TRACT "M" (P.I.N. 10-11-22-400-010-0000)**

THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, IN TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS. ALSO, THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, EXCEPTING THEREFROM THE NORTH 400 FEET OF THE WEST 415 FEET THEREOF AND ALSO EXCEPTING THAT PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHEAST QUARTER; THENCE WEST, ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER 1664.12 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING WEST, ALONG SAID NORTH LINE 300.00 FEET; THENCE SOUTH, PERPENDICULAR TO THE LAST DESCRIBED COURSE, 363.00 FEET; THENCE EAST, PERPENDICULAR TO THE LAST DESCRIBED COURSE, 300.00 FEET; THENCE NORTH, PERPENDICULAR TO THE LAST DESCRIBED COURSE, 363.00 FEET, TO THE POINT OF BEGINNING, IN TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

**TRACT "N" (P.I.N. 10-11-22-400-007-0000)**

THE NORTH 10 ACRES OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, IN TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

**TRACT "O" (P.I.N. 10-11-22-400-008-0000)**

THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22 IN TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT THE NORTH 10 ACRES THEREOF, IN WILL COUNTY, ILLINOIS.

and that the employees, agents and elected and appointed officials of the Village of Elwood, Illinois hereby are granted permission to enter onto the property to perform a visual inspection and familiarize themselves with conditions of the property during reasonable hours. This permission is granted in connection with the above-named applications pending before the Village of Elwood, Illinois.

[Separate Signature Page Follows]

OWNER:

EGLPC Brown Property, LLC, a Missouri limited liability company

By: NorthPoint Development, LLC, its  
Manager

By:

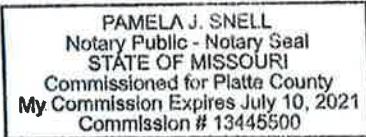
---

Nathaniel Hagedorn, its Manager

STATE OF MISSOURI )  
 ) SS.  
COUNTY OF PLATTE )

Subscribed and sworn to before me this 30 day of October, 2017.

## Notary Public



**OWNER'S AFFIDAVIT**

The undersigned, being duly sworn on oath, does state that he/she is the owner or legal representative of the owner of the property as set forth herein and that NorthPoint Development, LLC and/or East Gate – Logistics Park Chicago, LLC have been authorized to submit an application to the Village of Elwood, Illinois for all rezoning, planned unit developments, preliminary and/or final plats, concept plans and similar requests and entitlements upon the property located at:

**TRACT "B" (P.I.N. 10-11-29-401-003-0000)**

ALL OF LOT 4 IN CENTERPOINT INTERMODAL CENTER EAST UNIT ONE, BEING A SUBDIVISION OF PART OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 22, 2008, AS DOCUMENT NUMBER 2008-147917, IN WILL COUNTY, ILLINOIS.

**TRACT "D" (P.I.N. 10-11-29-401-001-0000)**

ALL OF LOT 5 IN CENTERPOINT INTERMODAL CENTER EAST UNIT ONE, BEING A SUBDIVISION OF PART OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 22, 2008, AS DOCUMENT NUMBER 2008-147917, IN WILL COUNTY, ILLINOIS.

**TRACT "E" (P.I.N. 10-11-29-207-004-0000)**

ALL OF LOT 2 IN CENTERPOINT INTERMODAL CENTER EAST UNIT ONE, BEING A SUBDIVISION OF PART OF SECTION 29, TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 22, 2008, AS DOCUMENT NUMBER 2008-147917, IN WILL COUNTY, ILLINOIS.

and that the employees, agents and elected and appointed officials of the Village of Elwood, Illinois hereby are granted permission to enter onto the property to perform a visual inspection and familiarize themselves with conditions of the property during reasonable hours. This permission is granted in connection with the above-named applications pending before the Village of Elwood, Illinois.

[Separate Signature Page Follows]

**OWNER:**

LB Andersen Land Holding, LLC, an Illinois limited liability company

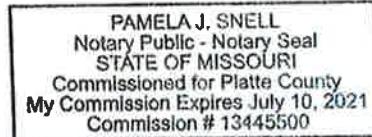
By: East Gate – Logistics Park Chicago, its Member

By: Nathaniel Hagedorn, its Manager

STATE OF MISSOURI )  
 ) SS.  
COUNTY OF PLATTE )

Subscribed and sworn to before me this 31st day of October, 2017.

## Notary Public



**OWNER'S CONSENT**

The undersigned, being duly sworn on oath, does state that he/she is the owner or legal representative of the owner of the property as set forth herein and that NorthPoint Development, LLC and/or East Gate – Logistics Park Chicago, LLC have been authorized to submit an application to the Village of Elwood, Illinois for all rezoning, planned unit developments, preliminary and/or final plats, concept plans and similar requests and entitlements upon the property located at:

**TRACT "I" (P.I.N. 10-11-27-100-008-0000)**

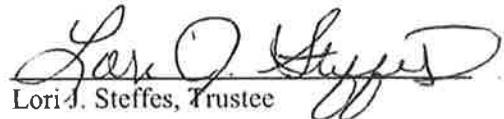
**THE WEST 1347.98 FEET OF THE NORTHWEST QUARTER, EXCEPT THE SOUTH 1343.14 FEET THEREOF, IN SECTION 27, IN TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.**

and that the employees, agents and elected and appointed officials of the Village of Elwood, Illinois hereby are granted permission to enter onto the property to perform a visual inspection and familiarize themselves with conditions of the property during reasonable hours. This permission is granted in connection with the above-named applications pending before the Village of Elwood, Illinois.

[Separate Signature Page Follows]

OWNER:

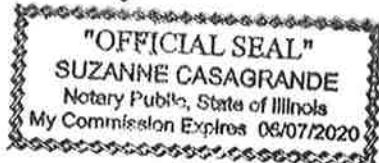
Lori J. Steffes, as Trustee of the Lori J. Steffes Trust dated November 18, 2013

By:   
Lori J. Steffes, Trustee

STATE OF ILLINOIS      )  
                            )  
COUNTY OF Will      ) SS.

Subscribed and sworn to before me this 15<sup>th</sup> day of September, 2017.

Suzanne Casagrande  
Notary Public



**OWNER'S CONSENT**

The undersigned, being duly sworn on oath, does state that he/she is the owner or legal representative of the owner of the property as set forth herein and that NorthPoint Development, LLC and/or East Gate – Logistics Park Chicago, LLC have been authorized to submit an application to the Village of Elwood, Illinois for all rezoning, planned unit developments, preliminary and/or final plats, concept plans and similar requests and entitlements upon the property located at:

**TRACT "K" (P.I.N. 10-11-27-100-005-0000)**

THE SOUTHERN 1343.14 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS. ALSO, THE SOUTHERN 1343.14 FEET OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS, EXCEPTING THEREFROM THE NORTH 466.70 FEET OF THE SOUTH 996.70 FEET OF THE WEST 466.70 FEET THEREOF.

**TRACT "L" (P.I.N. 10-11-27-100-007-0000)**

THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS, EXCEPT THE SOUTHERN 1343.14 FEET THEREOF. ALSO, THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS, EXCEPT THE SOUTHERN 1343.14 FEET THEREOF AND ALSO EXCEPTING THE WESTERN 1347.98 FEET THEREOF.

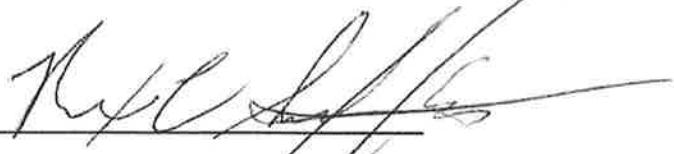
and that the employees, agents and elected and appointed officials of the Village of Elwood, Illinois hereby are granted permission to enter onto the property to perform a visual inspection and familiarize themselves with conditions of the property during reasonable hours. This permission is granted in connection with the above-named applications pending before the Village of Elwood, Illinois.

[Separate Signature Page Follows]

OWNER:

Robert E. Steffes Family Partnership LP

By:



Rex C. Steffes, its General Partner



Robert E. Steffes, Trustee

STATE OF ILLINOIS )

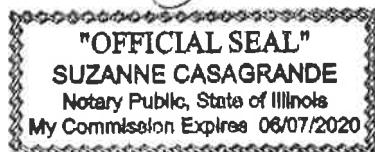
) SS.

COUNTY OF Will )

Subscribed and sworn to before me this 15<sup>th</sup> day of September, 2017.



Notary Public



**OWNER'S CONSENT**

The undersigned, being duly sworn on oath, does state that he/she is the owner or legal representative of the owner of the property as set forth herein and that NorthPoint Development, LLC and/or East Gate – Logistics Park Chicago, LLC have been authorized to submit an application to the Village of Elwood, Illinois for all rezoning, planned unit developments, preliminary and/or final plats, concept plans and similar requests and entitlements upon the property located at:

**TRACT "Q" (P.I.N. 10-11-26-100-004-0000)**

**THE WEST 660 FEET OF THE NORTH 660 FEET OF THE NORTHWEST QUARTER  
OF SECTION 26, TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD  
PRINCIPAL MERIDIAN, IN JACKSON TOWNSHIP, IN WILL COUNTY, ILLINOIS.**

and that the employees, agents and elected and appointed officials of the Village of Elwood, Illinois hereby are granted permission to enter onto the property to perform a visual inspection and familiarize themselves with conditions of the property during reasonable hours. This permission is granted in connection with the above-named applications pending before the Village of Elwood, Illinois.

[Separate Signature Page Follows]

OWNER:

  
Donald Walden, Jr.

STATE OF ILLINOIS )  
 ) SS.  
COUNTY OF WILL )

Subscribed and sworn to before me this 13 day of October, 2017.

Jah S. Gell  
Notary Public



**OWNER'S CONSENT**

The undersigned, being duly sworn on oath, does state that he/she is the owner or legal representative of the owner of the property as set forth herein and that NorthPoint Development, LLC and/or East Gate – Logistics Park Chicago, LLC have been authorized to submit an application to the Village of Elwood, Illinois for all rezoning, planned unit developments, preliminary and/or final plats, concept plans and similar requests and entitlements upon the property located at:

**TRACT "R" (P.I.N. 10-11-26-100-003-0000)**

THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, EXCEPTING THEREFROM THE WEST 660 FEET OF THE NORTH 660 FEET OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, ALL IN WILL COUNTY, ILLINOIS.

**TRACT "S" (P.I.N. 10-11-26-100-002-0000)**

THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 34 NORTH, RANGE 10 EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

and that the employees, agents and elected and appointed officials of the Village of Elwood, Illinois hereby are granted permission to enter onto the property to perform a visual inspection and familiarize themselves with conditions of the property during reasonable hours. This permission is granted in connection with the above-named applications pending before the Village of Elwood, Illinois.

[Separate Signature Page Follows]

OWNER:

Estate of Donald D. Walden, Sr., Deceased.

By: David A. Marchio  
Name: David A. Marchio  
Its: Independent Executor

STATE OF ILLINOIS )  
 ) SS.  
COUNTY OF WILL )

Subscribed and sworn to before me this 13 day of October, 2017.

Jah S. Galle  
Notary Public



**OWNER'S CONSENT**

The undersigned, being duly sworn on oath, does state that he/she is the owner or legal representative of the owner of the property as set forth herein and that NorthPoint Development, LLC and/or East Gate – Logistics Park Chicago, LLC have been authorized to submit an application to the Village of Elwood, Illinois for all rezoning, planned unit developments, preliminary and/or final plats, concept plans and similar requests and entitlements upon the property located at:

**TRACT "P" (P.I.N. 10-11-23-300-001-0000)**

**THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 34 NORTH, RANGE 10  
EAST, OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.**

and that the employees, agents and elected and appointed officials of the Village of Elwood, Illinois hereby are granted permission to enter onto the property to perform a visual inspection and familiarize themselves with conditions of the property during reasonable hours. This permission is granted in connection with the above-named applications pending before the Village of Elwood, Illinois.

[Separate Signature Page Follows]

OWNER:

*Riegel* *BR*  
Bernard F. Riegel, Jr.

*Bernard F. Riegel Jr.*

Bernard F. Riegel Jr.

STATE OF ILLINOIS )  
COUNTY OF *Grundy* ) SS.

Subscribed and sworn to before me this 11 day of October, 2017.

*Jessica Renee Shultz*  
Notary Public



OWNER:

Jeanne A. Williams, as Trustee of the Jeanne A. Williams Living Trust dated October 12, 2015

By: Jeanne A. Williams  
Jeanne A. Williams, Trustee

Williams-Riegel Property, LLC

By: Jeanne A. Williams  
Jeanne A. Williams, Member

Missouri  
STATE OF ~~ILLINOIS~~ )  
 ) SS.  
COUNTY OF Caldwell )

Subscribed and sworn to before me this 14<sup>th</sup> day of September, 2017.

Amanda McGinley  
Notary Public









**Phase I Rezoning - Parcel Proximity List**

**Property:** **Compass Business Park**  
**Elwood, Illinois**

JHA Project #: F345

Date: 9/6/2017

Entity/Owner	PIN	Address	Northpoint Notes	JHA Notes
HARTZ CONSTRUCTION TR HBT 1939	1011213000010000	9026 HERITAGE PKWY WOODRIDGE IL 60517  26737 S		
LARRY L. COLDWATER	1011213020030000	COLDWATER RD ELWOOD IL 60421		
LOUIS S. RODGERS AND JUDY L. RODGERS AS JOINT TENANTS	1011213020040000	19660 MISSISSIPPI RD ELWOOD IL 60421		
BERNHARD FARMS, INC.	1011214000090000	18530 W HOFF RD ELWOOD IL 60421		
BERNHARD FARMS, INC	1011214000100000	18530 W HOFF RD ELWOOD IL 60421		
ROBERT C. HAUERT AND ANGEL HAUERT, HUSBAND AND WIFE AS TENANTS BY THE ENTIRETY	1011214000120000	19510 MISSISSIPPI AVE ELWOOD IL 60421		
COLDWATER LARRY KATHLEEN	1011214000130000	26845 COLDWATER RD ELWOOD IL 60421		
LARRY COLDWATER AND JULIA BAUM-COLDWATER AS JOINT TENANTS	1011214000140000	26737 S COLDWATER RD ELWOOD IL 60421		
TYLER THOMAS A TRUST TYLER CAROL V TRUST	1011222000060000	2715 MARYLAND AVE FLOSSMOOR IL 60422		
TYLER THOMAS A TRUST TYLER CAROL V TRUST	1011222000070000	2715 MARYLAND AVE FLOSSMOOR IL 60422		
TYLER THOMAS A TRUST TYLER CAROL V TRUST	1011222000080000	2715 MARYLAND AVE FLOSSMOOR IL 60422		
TYLER THOMAS A TRUST TYLER CAROL V TRUST	1011222000090000	2715 MARYLAND AVE FLOSSMOOR IL 60422		
TYLER THOMAS A TRUST TYLER CAROL V TRUST	1011222000100000	2715 MARYLAND AVE FLOSSMOOR IL 60422		
TYLER THOMAS A TRUST TYLER CAROL V TRUST	1011222000130000	2715 MARYLAND AVE FLOSSMOOR IL 60422		
VAB FARMS LLC	1011223000050000	20 CARLYLE LN BUFFALO GROVE IL 60089		
BERNHARD FARMS, INC.	1011223000120000	18530 W HOFF RD ELWOOD IL 60421		

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*[Signature]*



**Phase I Rezoning - Parcel Proximity List**

**Property:** **Compass Business Park**  
**Elwood, Illinois**

JHA Project #: F345

Date: 9/6/2017

<b>Entity/Owner</b>	<b>PIN</b>	<b>Address</b>	<b>Northpoint Notes</b>	<b>JHA Notes</b>
CROY WAYNE CARLA REV FMLY TR	1011224000040000	108 W GARDNER ST PO BOX 104 ELWOOD IL 60421		
ARENDE JEANNINE TRUST		18801 W BROWN RD ELWOOD IL 60421		
WALSH LAWRENCE M IRENE	1011224000090000	18655 W BROWN RD ELWOOD IL 60421		
SIEVERT MICHAEL L TRUST	1011224000110000	18655 W BROWN RD ELWOOD IL 60421		
ARNHOLD WALTER J DEC TRUST	1011231000030000	24212 S ROWELL RD ELWOOD IL 60421		
ARNHOLD CYNTHIA L DEC TRUST		10 S LASALLE ST STE 2750 CHICAGO IL 60603		
CHICAGO TITLE LAND TRUST CO	1011232000020000	26057 S RIDGE RD ELWOOD IL 60421		
TR 8002367519		26057 S RIDGE RD ELWOOD IL 60421		
DART INC TR 183 C/O ROBERT C SWEEDLER	1011234000040000	18530 HOFF RD ELWOOD IL 60421		
DART INC C/O ROBERT SWEEDLER	1011234000050000	18856 W HOFF RD ELWOOD IL 60421		
BERNHARD FARMS INC	1011262000030000	18856 W HOFF RD ELWOOD IL 60421		
BERNHARD FAMILY LAND TRUST	1011262000040000	18856 W HOFF RD ELWOOD IL 60421		
BERNHARD LAND TRUST T- 98 C/O LEO & GREG BERNHARD	1011263000040000	18530 HOFF RD ELWOOD IL 60421		
NORMA L BAUDINO BAUDINO LAW FIRM	1011264000010000	2600 GRAND AVE STE 300 DES MOINES IA 50312		
SEWING HEINZ A ETAL	1011271000030000	26601 S CHICAGO RD ELWOOD IL 60421		
BERNHARD LAND TRUST T- 98 C/O LEO & GREG BERNHARD	1011272000050000	18530 HOFF RD ELWOOD IL 60421		
BERNHARD LEO E LOIS I	1011273000020000	18530 W HOFF RD ELWOOD IL 60421		
BERNHARD FARMS	1011273000030000	18530 W HOFF RD ELWOOD IL 60421		
BERNHARD FARMS INC	1011274000010000	18530 W HOFF RD ELWOOD IL 60421		
HARTZ CONSTRUCTION TR HBT 1939	1011281000020000	19026 HERITAGE PKWY WOODRIDGE IL 60517		
COLDWATER LAVERN A KATHLEEN	1011281000030000	26845 COLDWATER RD ELWOOD IL 60421		

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**Phase I Rezoning - Parcel Proximity List**

**Property:** **Compass Business Park**  
**Elwood, Illinois**

JHA Project #: F345

Date: 9/6/2017

Entity/Owner	PIN	Address	Northpoint Notes	JHA Notes
SHEWMAKE DONALD L DEBRA K	1011281000050000	PO BOX 283 19820 W MISSISSIPPI AVE ELWOOD IL 60421		
BRAUN MARY B REV DEV TRUST	1011281000080000	117 W SPENCER ST ELWOOD IL 60421		
RENA M. BRYAN	1011281000110000	19948 MISSISSIPPI AVE ELWOOD IL 60421		
JEFF SHACKELFORD	1011281000120000	PO BOX 382 ELWOOD IL 60421		
PHILIP L. CARLOS AND PATRICIA A. CARLOS, HUSBAND AND WIFE AS JOINT TENANTS	1011281010010000	19828 MISSISSIPPI AVE ELWOOD IL 60421		
KENNETH SCHROEDER AND DONNA SCHROEDER, HUSBAND AND WIFE, AS JOINT TENANTS	1011281010020000	24203 S SUSAN LN MANHATTAN IL 60442		
COLDWATER LAV A KATH	1011282000010000	26845 COLDWATER RD ELWOOD IL 60421		
COLDWATER FARMS	1011282000020000	26845 COLDWATER RD ELWOOD IL 60421		
COLDWATER LAV A KATH	1011283000010000	26845 COLDWATER RD ELWOOD IL 60421		
BERNHARD FARMS INC	1011284000010000	18530 HOFF RD ELWOOD, IL 60421		
HARTZ CONSTRUCTION CO INC TR HBT-1939	1011292000110000	9026 HERITAGE PKWY WOODRIDGE IL 60517		
LB ANDERSEN LAND HOLDING, LLC	1011292070010000	104 S WYNSTONE PARK DR NORTH BARRINGTON IL 60010		
LB ANDERSEN LAND HOLDING, LLC	1011292070030000	104 S WYNSTONE PARK DR NORTH BARRINGTON IL 60010		
CENTERPOINT INTERMODAL CENTER EAST PROPERTY OWNERS ASSOCIATION	1011292070040000	1808 SWIFT DR OAK BROOK IL 60523		
BISSELL MIDWEST DC LEASING, LLC	1011294010020000	2345 WALKER RD NW GRAND RAPIDS MI 49544		

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*[Handwritten Signature]*



**Phase I Rezoning - Parcel Proximity List**

**Property:** **Compass Business Park**  
**Elwood, Illinois**

JHA Project #: F345

Date: 9/6/2017

Entity/Owner	PIN	Address	Northpoint Notes	JHA Notes
LB ANDERSEN LAND HOLDING, LLC	1011294010030000	104 S WYNSTONE PARK DR NORTH BARRINGTON IL 60010		
EGLPC BROWN PROPERTY LLC C/O NORTHPOINT DEVELOPMENT LLC	1011224000070000*	4825 NW 41ST ST STE 500 RIVERSIDE MO 64150		
EGLPC BROWN PROPERTY LLC C/O NORTHPOINT DEVELOPMENT LLC	1011224000080000*	4825 NW 41ST ST STE 500 RIVERSIDE MO 64150		
EGLPC BROWN PROPERTY LLC C/O NORTHPOINT DEVELOPMENT LLC	1011224000100000*	4825 NW 41ST ST STE 500 RIVERSIDE MO 64150		
WILLIAMS-RIEGEL PROPERTY LLC C/O WILLIAMS JEANNE A	1011233000010000*	1832 EAGLE CREEK RD ELWOOD IL 60421		
WALDEN DONALD D SR	1011261000020000*	622 BETHEL DR JOLIET IL 60435		
WALDEN DONALD D SR	1011261000030000*	622 BETHEL DR JOLIET IL 60435		
WALDEN DONALD JR	1011261000040000*	26319 S ROWELL RD ELWOOD IL 60421		
STEFFES ROBERT E FMLY PTSHP LP	1011271000050000*	16211 W DELANEY RD MANHATTAN IL 60442		
STEFFES ROBERT E FMLY PTSHP LP	1011271000070000*	16211 W DELANEY RD MANHATTAN IL 60442		
LORI J. STEFFES, AS TRUSTEE OF THE LORI J. STEFFES TRUST DATED NOVEMBER 18, 2013	1011271000080000*	16211 W DELANEY RD MANHATTAN IL 60442		
LB ANDERSEN LAND HOLDING, LLC	1011294010010000*	104 S WYNSTONE PARK DR NORTH BARRINGTON IL 60010		

\*Parcel is within proposed rezoning limits

**Notes:**

1. Permanent Index Numbers (also referred to as PINs or Parcel IDs) have been obtained from the Will County GIS Data Viewer on September 5, 2017.
2. Owner name and address information has been obtained from the 2016 Levy Real Estate Tax Information available from the Will County Treasurer.

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*[Signature]*



**Phase I Rezoning - Parcel Proximity List**

**Property:** **Compass Business Park**  
**Elwood, Illinois**

JHA Project #: F345

Date: 11/28/2017

<b>Entity/Owner</b>	<b>PIN</b>	<b>Address</b>	<b>Northpoint Notes</b>	<b>JHA Notes</b>
WALSH LAWRENCE M IRENE	1011224000090000	18801 W BROWN RD ELWOOD IL 60421		
SIEVERT MICHAEL L TRUST	1011224000110000	18655 W BROWN RD ELWOOD IL 60421		
ARNHOLD WALTER J DEC TRUST		24212 S ROWELL RD ELWOOD IL 60421		
ARNHOLD CYNTHIA L DEC TRUST	1011231000030000			
CHICAGO TITLE LAND TRUST CO	1011232000020000	10 S LASALLE ST STE 2750 CHICAGO IL 60603		
DART INC TR 183 C/O ROBERT C SWEEDLER	1011234000040000	26057 S RIDGE RD ELWOOD IL 60421		
DART INC C/O ROBERT SWEEDLER	1011234000050000	26057 S RIDGE RD ELWOOD IL 60421		
BERNHARD FARMS INC	1011262000030000	18530 HOFF RD ELWOOD IL 60421		
BERNHARD FAMILY LAND TRUST	1011262000040000	18856 W HOFF RD ELWOOD IL 60421		
BERNHARD LAND TRUST T- 98 C/O LEO & GREG	1011263000040000	18530 HOFF RD ELWOOD IL 60421		
NORMA L BAUDINO BAUDINO LAW FIRM	1011264000010000	2600 GRAND AVE STE 300 DES MOINES IA 50312		
SEWING HEINZ A ETAL	1011271000030000	26601 S CHICAGO RD ELWOOD IL 60421		
BERNHARD LAND TRUST T- 98 C/O LEO & GREG	1011272000050000	18530 HOFF RD ELWOOD IL 60421		
BERNHARD LEO E LOIS I	1011273000020000	18530 W HOFF RD ELWOOD IL 60421		
BERNHARD FARMS	1011273000030000	18530 W HOFF RD ELWOOD IL 60421		
BERNHARD FARMS INC	1011274000010000	18530 W HOFF RD ELWOOD IL 60421		
HARTZ CONSTRUCTION TR HBT 1939	1011281000020000	9026 HERITAGE PKWY WOODRIDGE IL 60517		
COLDWATER LAVERN A KATHLEEN	1011281000030000	26845 COLDWATER RD ELWOOD IL 60421 PO BOX 283		
SHEWMAKE DONALD L DEBRA K	1011281000050000	19820 W MISSISSIPPI AVE ELWOOD IL 60421		
BRAUN MARY B REV DEV TRUST	1011281000080000	117 W SPENCER ST ELWOOD IL 60421 19948 MISSISSIPPI		
RENA M. BRYAN	1011281000110000	AVE ELWOOD IL 60421 PO BOX 382		
JEFF SHACKELFORD	1011281000120000	19828 MISSISSIPPI AVE ELWOOD IL 60421		
PHILIP L. CARLOS AND PATRICIA A. CARLOS, HUSBAND AND WIFE AS JOINT TENANTS	1011281010010000			



**Phase I Rezoning - Parcel Proximity List**

**Property:** **Compass Business Park**  
**Elwood, Illinois**

JHA Project #: F345

Date: 11/28/2017

<b>Entity/Owner</b>	<b>PIN</b>	<b>Address</b>	<b>Northpoint Notes</b>	<b>JHA Notes</b>
KENNETH SCHROEDER AND DONNA SCHROEDER, HUSBAND AND WIFE, AS JOINT TENANTS	1011281010020000	24203 S SUSAN LN MANHATTAN IL 60442		
COLDWATER LAV A KATH	1011282000010000	26845 COLDWATER RD ELWOOD IL 60421		
COLDWATER FARMS	1011282000020000	26845 COLDWATER RD ELWOOD IL 60421		
COLDWATER LAV A KATH	1011283000010000	26845 COLDWATER RD ELWOOD IL 60421		
BERNHARD FARMS INC	1011284000010000	18530 HOFF RD ELWOOD, IL 60421		
GRUNDY COUNTY NATL BANK	1011291360060000	TR 1304 PO BOX 520 MORRIS IL 60450		
GRUNDY COUNTY NATL BANK	1011291400010000	TR 1304 PO BOX 520 MORRIS IL 60450		
HARTZ CONSTRUCTION CO INC TR HBT-1939	1011292000110000	9026 HERITAGE PKWY WOODRIDGE IL 60517		
LB ANDERSEN LAND HOLDING, LLC	1011292070010000	104 S WYNSTONE PARK DR NORTH BARRINGTON IL		
LB ANDERSEN LAND HOLDING, LLC	1011292070020000	104 S WYNSTONE PARK DR NORTH BARRINGTON IL		
GRUNDY COUNTY NATL BANK	1011293000030000	TR 1304 PO BOX 520 MORRIS IL 60450		
GRUNDY COUNTY NATL BANK	1011293000090000	TR 1304 PO BOX 520 MORRIS IL 60450		
ATG ILLINOIS LAND TRUST	1011293000150000	TR L006-027 PO BOX 90 ELWOOD IL 60421		
ATG ILLINOIS LAND TRUST	1011293000160000	TR L006-027 PO BOX 90 ELWOOD IL 60421		
CENTERPOINT INTERMODAL CENTER EAST PROPERTY OWNERS ASSOCIATION/S PURCELL	1011293020010000	1808 SWIFT DR OAK BROOK IL 60523		
ILLINOIS STATE POLICE ATTN GREG KILDUFF	1011294000050000	801 S 7TH ST STE 300 S SPRINGFIELD IL 62703		
ZUBEK STANLEY THERESA	1011294000070000	20002 W HOFF RD ELWOOD IL 60421		
LB ANDERSEN LAND HOLDING, LLC	1011294000100000	104 S WYNSTONE PARK DR NORTH BARRINGTON IL		



**Phase I Rezoning - Parcel Proximity List**

**Property:** **Compass Business Park**  
**Elwood, Illinois**

JHA Project #: F345

Date: 11/28/2017

<b>Entity/Owner</b>	<b>PIN</b>	<b>Address</b>	<b>Northpoint Notes</b>	<b>JHA Notes</b>
JOHNSON LARRY D JOYCE E TR	1011294000110000	27000 S COLDWATER RD ELWOOD IL 60421		
LB ANDERSEN LAND HOLDING, LLC	1011294000120000	104 S WYNSTONE PARK DR NORTH BARRINGTON IL		
BISSELL MIDWEST DC LEASING, LLC	1011294010020000	2345 WALKER RD NW GRAND RAPIDS MI 49544		
USA	1011321000010000			Will County Treasurer does not have an address on file - per USDA website: 30239 S STATE ROUTE 53 WILMINGTON, IL 60481
USA	1011322000010000			***
USA	1011322000020000			***
EGLPC BROWN PROPERTY LLC C/O NORTHPOINT DEVELOPMENT LLC	1011224000070000*	4825 NW 41ST ST STE 500 RIVERSIDE MO 64150		
EGLPC BROWN PROPERTY LLC C/O NORTHPOINT DEVELOPMENT LLC	1011224000080000*	4825 NW 41ST ST STE 500 RIVERSIDE MO 64150		
EGLPC BROWN PROPERTY LLC C/O NORTHPOINT DEVELOPMENT LLC WILLIAMS-RIEGEL	101122400010000*	4825 NW 41ST ST STE 500 RIVERSIDE MO 64150 832 EAGLE CREEK		
PROPERTY LLC C/O WILLIAMS JEANNE A	1011233000010000*	RD ELWOOD IL 60421		
WALDEN DONALD D SR	1011261000020000*	622 BETHEL DR JOLIET IL 60435		
WALDEN DONALD D SR	1011261000030000*	622 BETHEL DR JOLIET IL 60435		
WALDEN DONALD JR	1011261000040000*	26319 S ROWELL RD ELWOOD IL 60421 16211 W DELANEY		
STEFFES ROBERT E FMLY PTSHP LP	1011271000050000*	RD MANHATTAN IL 16211 W DELANEY		
STEFFES ROBERT E FMLY PTSHP LP	1011271000070000*	RD MANHATTAN IL 16211 W DELANEY		
LORI J. STEFFES, AS TRUSTEE OF THE LORI J. STEFFES TRUST DATED NOVEMBER 18, 2013	1011271000080000*	RD MANHATTAN IL 60442 104 S WYNSTONE		
LB ANDERSEN LAND HOLDING, LLC	1011292070030000*	PARK DR NORTH BARRINGTON IL		
CENTERPOINT INTERMODAL CENTER EAST PROPERTY OWNERS ASSOCIATION/S PURCELL	1011292070040000*	1808 SWIFT DR OAK BROOK IL 60523		



### Phase I Rezoning - Parcel Proximity List

**Property:**  
**Compass Business Park**  
**Elwood, Illinois**

JHA Project #: F345

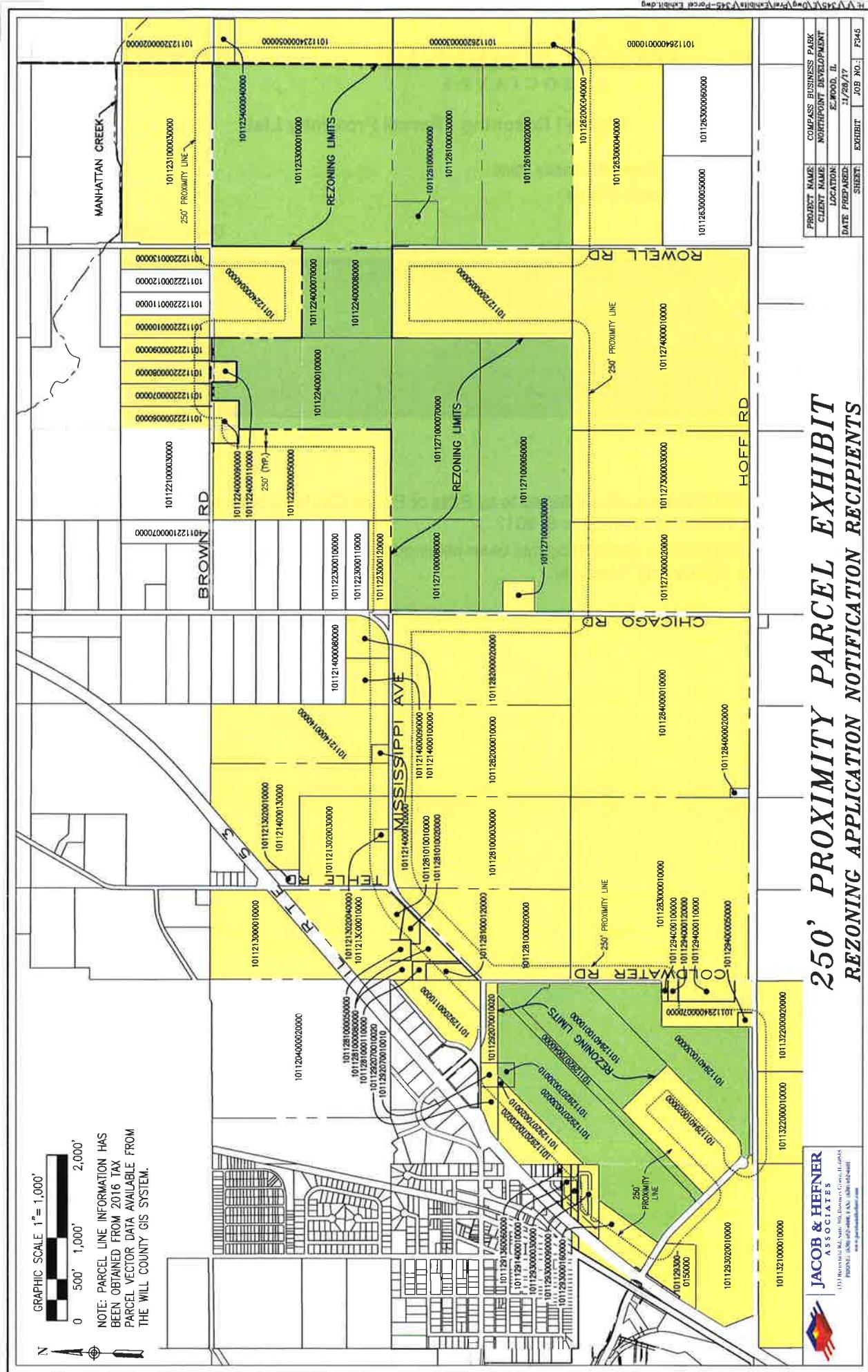
Date: 11/28/2017

Entity/Owner	PIN	Address	Northpoint Notes	JHA Notes
LB ANDERSEN LAND HOLDING, LLC	1011294010010000*	104 S WYNSTONE PARK DR NORTH BARRINGTON IL		
LB ANDERSEN LAND HOLDING, LLC	1011294010030000*	104 S WYNSTONE PARK DR NORTH BARRINGTON IL		

\*Parcel is within proposed rezoning limits

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**250' PROXIMITY PARCEL EXHIBIT  
REZONING APPLICATION NOTIFICATION RECIPIENTS**

**JACOB & HEFFNER  
ASSOCIATES**  
Business Rd., Salt Lake City, Utah  
(800) 424-4444, FAX: (800) 424-4444  
[www.jacobandheffner.com](http://www.jacobandheffner.com)

