

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 424-1074 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-05-05

ISSUE DATE: May 24, 2017

EXP. DATE: November 24, 2017

PROPERTY ADDRESS: 906 Laurel Drive
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Removal of existing driveway & added space. Excavation of existing drive & dirt for expanding area CA-6 Stone brought in Grading stone & Compacting 2" Surface Course Asphalt. Site work ---1330sq ft

CONTRACTOR INFORMATION

Contractor Company: Conte Paving

Main Contact: Romano Conte

Phone Number: (815) 791-7063

REQUIRED INSPECTIONS

☐ Pre-pour Asphalt Inspection

☐ Final Inspection

APPROVAL SIGNATURE


Syreeta Slappey, Permit Technician

From: **Jim Maas ROCFELA** rocfela@hotmail.com
 Subject: Print
 Date: Today at 10:40 AM
 To: Jim Maas ROCFELA rocfela@hotmail.com



Contract Estimate

Date	Estimate No.
04/27/17	2026

Name/Address
Sub Laurel Dr. Elwood, IL. 60421

Terms	Project		
Upon Completion of...	Trisha Maas		
Description	Quantity	Cost	Total
Remove and Replace existing drive and added space			
Excavation of existing drive and dirt for expanding area		0.00	0.00
CA-6 Stone brought in		0.00	0.00
Grading stone and Compacting		0.00	0.00
2" Surface Course Asphalt		0.00	0.00
Site Work ~-1330 sqft		4,140.00	4,140.00
Any Questions Please Call Romano Conte Cell: 815-791-7063		Total	\$4,140.00

Signature _____

Date _____

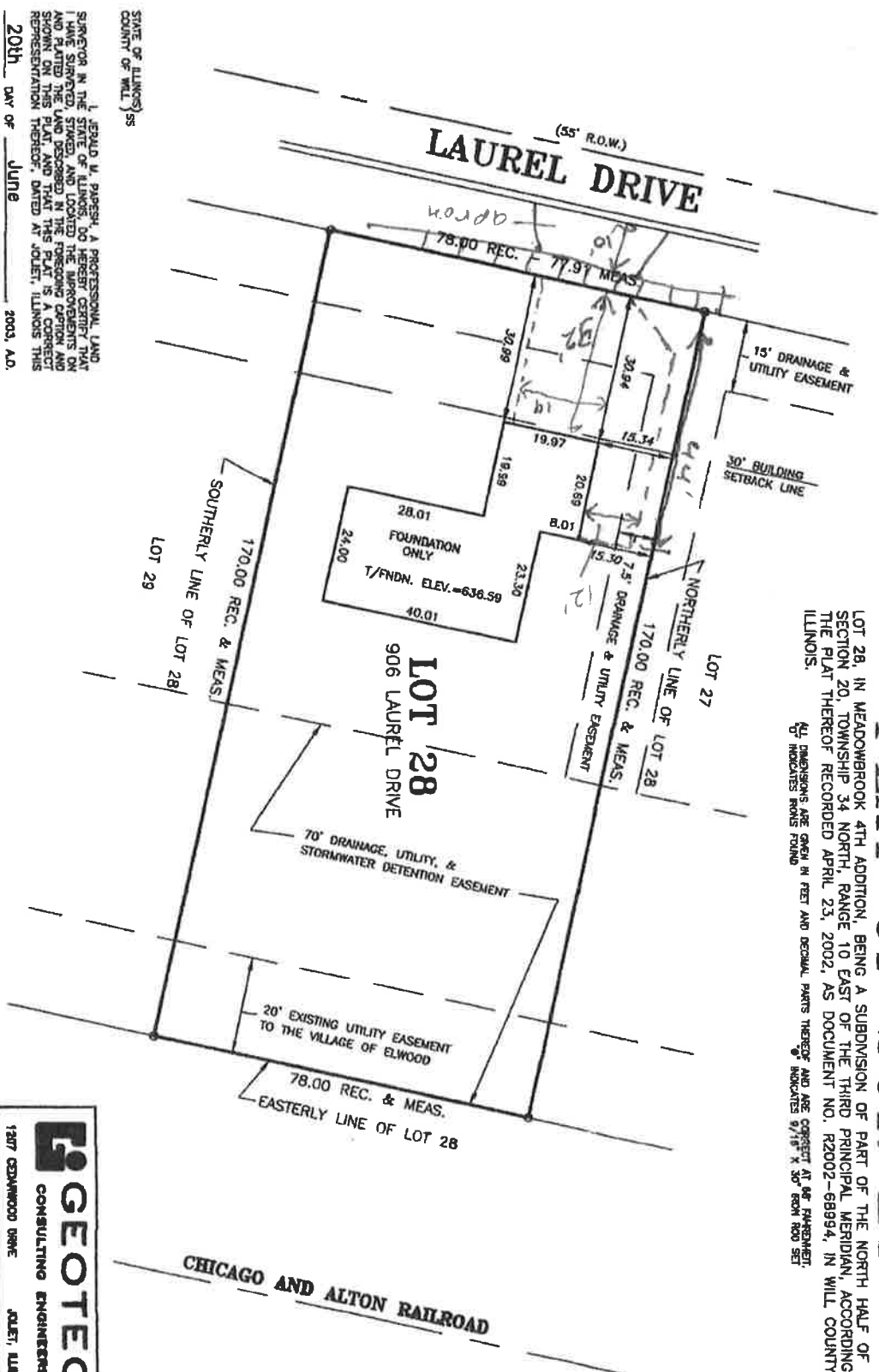
Payment after receipt of invoice shall be made within 30 days - Payments made after 30 days will be subject to 1.5% interest per month - 18% per annum - Buyer shall also assume payment of all necessary attorney and collection expenses.

PLAT OF SURVEY

LOT 28, IN MEADOWBROOK 4TH ADDITION, BEING A SUBDIVISION OF PART OF THE NORTH HALF OF SECTION 20, TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 23, 2002, AS DOCUMENT NO. R2002-68894, IN WILL COUNTY, ILLINOIS.

ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF AND ARE CORRECT AT 68° FAHRENHEIT. * INDICATES 9/16" X 30" FROM ROD SET

SCALE 1" = 20'



STATE OF ILLINOIS
COUNTY OF WILL) SS
I, JEROLD M. PARESH, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF ILLINOIS, DO HEREBY CERTIFY THAT I HAVE SURVEYED, STAKED, AND LOCATED THE IMPROVEMENTS ON AND PLATTED THE LAND DESCRIBED IN THE FOREGOING CAPTION AND SHOWN ON THIS PLAT, AND THAT THIS PLAT IS A CORRECT REPRESENTATION THEREOF, DATED AT JOLET, ILLINOIS THIS 20th DAY OF June 2003, A.D.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 22892

GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS

1207 CEDARWOOD DRIVE JOLET, ILLINOIS 60438 815/730-1010
PROJECT: HOMES BY CHASE FIELD BOOK # 14 34 10 57
DRAWN BY: LY DATE: 6/26/03 SCALE: 1"=20' JOB NO. 12310
COMPARE THIS PLAT WITH YOUR RECORDS AND IMMEDIATELY REPORT ANY DISCREPANCIES

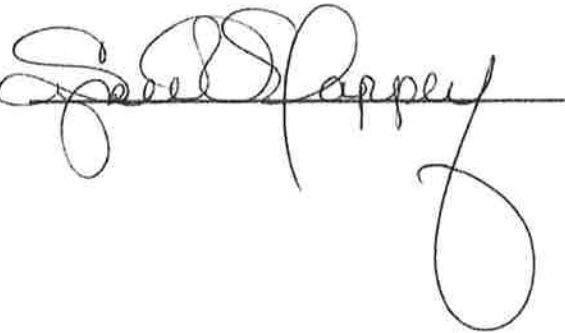
NOTICE

A certificate of occupancy and compliance must be issued prior to occupancy of all new structures, additions and for change of use.

	FEES		FEES
Building Plan review Fee	\$ 25	Capacity Expansion Fee	\$
Building Permit Fee	\$ 125	Water Meter fee	\$
Building Inspection Fee 2(155)	\$ 110	Water Tap Fee	\$
Electrical Fee	\$	Sewer Tap Fee	\$
Plumbing Fee	\$	Other	\$
Sign Fee	\$	Other	\$
Certificate of Occupancy	\$	Bond	\$
Village Impact Fee	\$	Total Fee	\$
Park District impact Fee	\$	(minus deposit)	\$
Fire District impact Fee (paid)		BALANCE DUE	\$ 260 ⁰⁰
School Impact Fee (paid)			

A PERMIT FOR THIS WORK IS HEREBY AUTHORIZED

Building Official



Date

5.24.17

8-1-17818

Date Received by
Com. Dev. Dept.



Village of Elwood
Established 1889
Proud of our past, Building our future.

P.O. Box 435, Elwood, IL 60421
Tel: (815)423-5011 - Fax: (815)423-6861

2017.05.05

Permit Number
5-24-17
Date Issued

APPLICATION FOR BUILDING PERMIT

OWNER

Job Address	906 Laurel Dr
Name	
Address	906 Laurel Drive
City/Zip	Elwood 60421
Telephone	815 325 0960 Fax
Project Description	Repaving driveway +

Lot	28 in meadowbrook 4 th addition
Block	
Unit	
Sub'd.	Meadowbrook
Tax No.	10-11-20-202-026-0000
Zoning	
Valuation	34/140.00
Sq. Footage	Estimate for paving

The Village of Elwood requires all contractors and sub-contractors to register with the Village and pay the current registration fee and provide a certificate of insurance and bond requirements. Roofing and plumbing contractors are to provide a State of Illinois license. Electricians are to provide a license.

Architect	Address	Ph.	Fx.
General	Address	Ph.	Fx.
Excavator	Address	Ph.	Fx.
Concrete	Address	Ph.	Fx.
Carpenter	Address	Ph.	Fx.
Brick Mason	Address	Ph.	Fx.
Plumber	Address	Ph.	Fx.
Sewer & Water	Address	Ph.	Fx.
Electrician	Address	Ph.	Fx.
Heating	Address	Ph.	Fx.
Roofing	Address	Ph.	Fx.
Insulator	Address	Ph.	Fx.
Asphalt	Address 3820 Squire's Mill Rd	Ph. 815 723 0660	Fx. 815 439 0660
Siding	Address Joliet, IL 60431	Ph.	Fx.
Other	Address	Ph.	Fx.
Other	Address	Ph.	Fx.

CONDITIONS OF PERMIT

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I also agree that all work performed under said permit will be in accordance with the plans and specifications which accompany this application, except for such changes as may be authorized or required by the Building Official.

All inspections require a MINIMUM 48 hour notice.

Call 815-423-5011

Inspection required prior to placement of concrete.

Applicants required to notify J.U.L.I.E.

Call 1-800/892-0123 prior to digging.

Signature of Agent

Tricia L Mays

Print Name

TRICIA L MAYS

MISCELLANEOUS PLAN REVIEW

Municipality: Yilbone of Elwood
Owner/Occupant: S
Site address: 906 Laurel Drive
Applicants name: _____ Applicant's telephone: 815 325 0960
Type of review: Repairing Driveway
B & F Plan Review Project Number: _____
B & F Inspection number: 1349
Municipal permit number: _____
Other dept./consultant approval: _____ ☐ N/A

☒ Comply

☐ Not comply

☐ Comply with notes

Comments: Required Inspection's

1. pre-par Drive (compact Gab Stone)
2. Final Driveway

NOTE. permit Holder is responsible For
Scheduling all inspection's
Post permit in window so as to be seen from
The Street

Plan Reviewer: Mishay Date: 5-24-17
Fees: Plan Review: \$ 2500 Inspections: \$ _____

Sheet 1 of 1



May 24, 2017

906 Laurel Drive
Elwood, IL 60421

Building Permit for Installation of an Expanded Asphalt Driveway – 906 Laurel Drive

Permit Number: 2017-05-05

On May 24, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further engineering concerns on the construction drawings or driveway/step placement.

This letter serves as an approval for installation of an expanded asphalt driveway at 906 Laurel Drive. Upon payment of the permit fee in the amount of \$260.00, the applicant will be issued a permit which is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 11/24/2017. The following conditions apply to permit approval:

- 1) Construction and work shall be installed so that the driveway will not interfere with drainage.
- 2) Required Inspections:
 - a. Pre-Pour Drive (compact stone)
 - b. Final Driveway
- 3) The applicant will notify the Village of Elwood when the installation is completed so an inspection can be scheduled. All inspections require a minimum 48-hour notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, I can be reached at (815) 424-1091, or via email at syreeta.slappey@villageofelwood.com.

Sincerely,

A handwritten signature in cursive script, appearing to read "Syreeta Slappey".

Syreeta Slappey
Permit Technician

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ❖ PHONE (815) 424-1074 ❖ FAX (815) 423-6861

PERMIT NUMBER: 2017-05-05

ISSUE DATE: May 24, 2017

EXP. DATE: November 24, 2017

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Elwood, IL 60421

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CONTRACTOR INFORMATION

Contractor Company: Conte Paving

Main Contact: Romano Conte

Phone Number: (815) 791-7063

REQUIRED INSPECTIONS

☐ Pre-pour Asphalt Inspection

☐ Final Inspection

APPROVAL SIGNATURE

Syreeta Slappey, Permit Technician

May 24, 2017

906 Laurel Drive
Elwood, IL 60421

Building Permit for Installation of an Expanded Asphalt Driveway – 906 Laurel Drive

Permit Number: 2017-05-05

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Sincerely,



Syreeta Slappey
Permit Technician

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ❖ PHONE (815) 424-1074 ❖ FAX (815) 423-6861

PERMIT NUMBER: 2017-05-04

ISSUE DATE: May 11, 2017

EXP. DATE: November 11, 2017

PROPERTY ADDRESS: 26453 Walton Drive
Elwood, IL 60421

PROPERTY MANAGER:

DESCRIPTION OF PERMITTED WORK

Installation of 12 additional dock doors in the existing Walmart warehouse.

CONTRACTOR INFORMATION

Contractor Company: RSP

Main Contact: Aaron Napier

Phone Number: (682) 200-0344

REQUIRED INSPECTIONS

☐ Slab (pre-pour) Inspection

☐ Final Building Inspection

☐ Rough Building Inspection

☐ Final Electrical Inspection

☐ Rough Electrical Inspection

APPROVAL SIGNATURE

Syreeta Slapney, Permit Technician



March 21, 2017

Ms. Ashleigh Spacht
Village of Elwood Building Department
401 E. Mississippi Avenue
Elwood, Illinois 60421

RE:
Building #7
26453 Centerpoint Drive

Dear Ms. Spacht:

On behalf of Walmart Stores, Inc., RSP is please to submit the following submittal package for plan review. The following project elements are included for your review:

- Two (2) Full Size Sets of the Drawings
- One (1) Completed Building Application Form

The facility is proposing to create twelve (12) new dock door positions. The new doors will be along the same wall and near existing dock doors. The existing precast walls were originally designed with knockouts at these locations to accommodate the new openings.

After plan review, the awarded Contractor will pay all the applicable fees required for the permit and plan review.

If you have any questions or require additional information to support your review please contact me at (682) 200-0344

Sincerely,


Aaron Napier
Associate

RSP Architects, Ltd.
600 West 6th Street, Suite 100
Fort Worth, TX 76102
682.200.0340 main
612.677.7499 fax
rsparch.com

NOTICE

A certificate of occupancy and compliance must be issued prior to occupancy of all new structures, additions and for change of use.

	FEES		FEES
Building Plan review Fee	\$ 225	Capacity Expansion Fee	\$
Building Permit Fee	\$ 2546 ⁴⁴	Water Meter fee	\$
Building Inspection Fee 3(\$55)	\$ 165	Water Tap Fee	\$
Electrical Fee 2(\$55)	\$ 110 ⁰⁰	Sewer Tap Fee	\$
Plumbing Fee	\$	Other	\$
Sign Fee	\$	Other	\$
Certificate of Occupancy	\$	Bond	\$
Village Impact Fee	\$	Total Fee	\$
Park District impact Fee	\$	(minus deposit)	\$
Fire District impact Fee (paid)		BALANCE DUE	\$ 3046 ⁴⁴
School Impact Fee (paid)			

A PERMIT FOR THIS WORK IS HEREBY AUTHORIZED

Building Official



Date

5.11.17

4.4.17 (RSP)

Date Received by
Com. Dev. Dept.



Village of Elwood
• Established 1889 •
Proud of our past, Building our future.

P.O. Box 435, Elwood, IL 60421
Tel: (815)423-5011 – Fax: (815)423-6861

2017-05-04
Permit Number
5-11-17
Date Issued

APPLICATION FOR BUILDING PERMIT

OWNER

Job Address	Building #7, 26453 Centerpoint Drive, Elwood, IL		
Name			
Address	601 N. Walton Blvd,		
City/Zip	Bentonville, AR 72716		
Telephone	479-277-2279	Fax	479-277-5975

Lot

Block	Unit
Sub'd.	
Tax No.	
Zoning	
Valuation	254,144 Sq. Footage

Project Description 12 new dock door positions at existing warehouse.

The Village of Elwood requires all contractors and sub-contractors to register with the Village and pay the current registration fee and provide a certificate of insurance and bond requirements. Roofing and plumbing contractors are to provide a State of Illinois license. Electricians are to provide a license.

Architect	RSP Architects	Address	600 W. 6th Street, Fort Worth, TX	Ph.	682-200-0344	Fx.
General		Address		Ph.		Fx.
Excavator		Address		Ph.		Fx.
Concrete		Address		Ph.		Fx.
Carpenter		Address		Ph.		Fx.
Brick Mason		Address		Ph.		Fx.
Plumber		Address		Ph.		Fx.
Sewer & Water		Address		Ph.		Fx.
Electrician	TBD	Address		Ph.		Fx.
Heating		Address		Ph.		Fx.
Roofing		Address		Ph.		Fx.
Insulator		Address		Ph.		Fx.
Asphalt		Address		Ph.		Fx.
Siding		Address		Ph.		Fx.
Other		Address		Ph.		Fx.
Other		Address		Ph.		Fx.

CONDITIONS OF PERMIT

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All inspections require a MINIMUM 48 hour notice.

Call 815-423-5011

Inspection required prior to placement of concrete.

Applicants required to notify J.U.L.I.E.

Call 1-800/892-0123 prior to digging.

Signature of Agent

Print Name

Aaron Napier



May 11, 2017

26453 Walton Drive
Elwood, IL 60421

Building Permit for Installation of 12 Dock Doors – 26453 Walton Drive
Permit Number: 2017-05-04

On May 11, 2017 permit application, plans and documentation were examined for the attached proposed project. Based on the review of the submitted documentation, no additional information is required to be submitted for review and authorization.

This letter serves as approval for the installation of 12 dock doors at 26453 Walton Drive as applied for. Upon payment of the permit and inspection fee, in the amount of \$3,046.44, the applicant will be issued a building permit which is required to be displayed throughout the time of construction. The permit is issued for a period of 6 months, and will expire on 11/11/2017. The following conditions apply to approval:

1. Required Inspections:

*The applicant must notify the Village of Elwood when the project is ready for inspection. All inspections require a **minimum 48-hour business day notice** for scheduling purposes.

- a. Slab (pre-pour)
- b. Building Rough
- c. ~~Electrical Rough~~
- d. Building Final
- e. Electrical Final
 - i. One (1) as-build inspection has been included in permit fee. Each additional as-build inspections will require an additional payment of \$55.00 per inspection.

If you have any questions or comments regarding this permit, or approval conditions, please contact the Village of Elwood.

Sincerely,

Ashleigh Spacht
Deputy Village Administrator

May 11, 2017

26453 Walton Drive
Elwood, IL 60421

Building Permit for Installation of 12 Dock Doors – 26453 Walton Drive
Permit Number: 2017-05-04

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Sincerely,



Ashleigh Spacht
Deputy Village Administrator

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

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PERMIT NUMBER: 2017-05-04

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Elwood, IL 60421

PROPERTY MANAGER:

DESCRIPTION OF PERMITTED WORK

Installation of 12 additional dock doors in the existing Walmart warehouse.

CONTRACTOR INFORMATION

Contractor Company: RSP

Main Contact: Aaron Napier

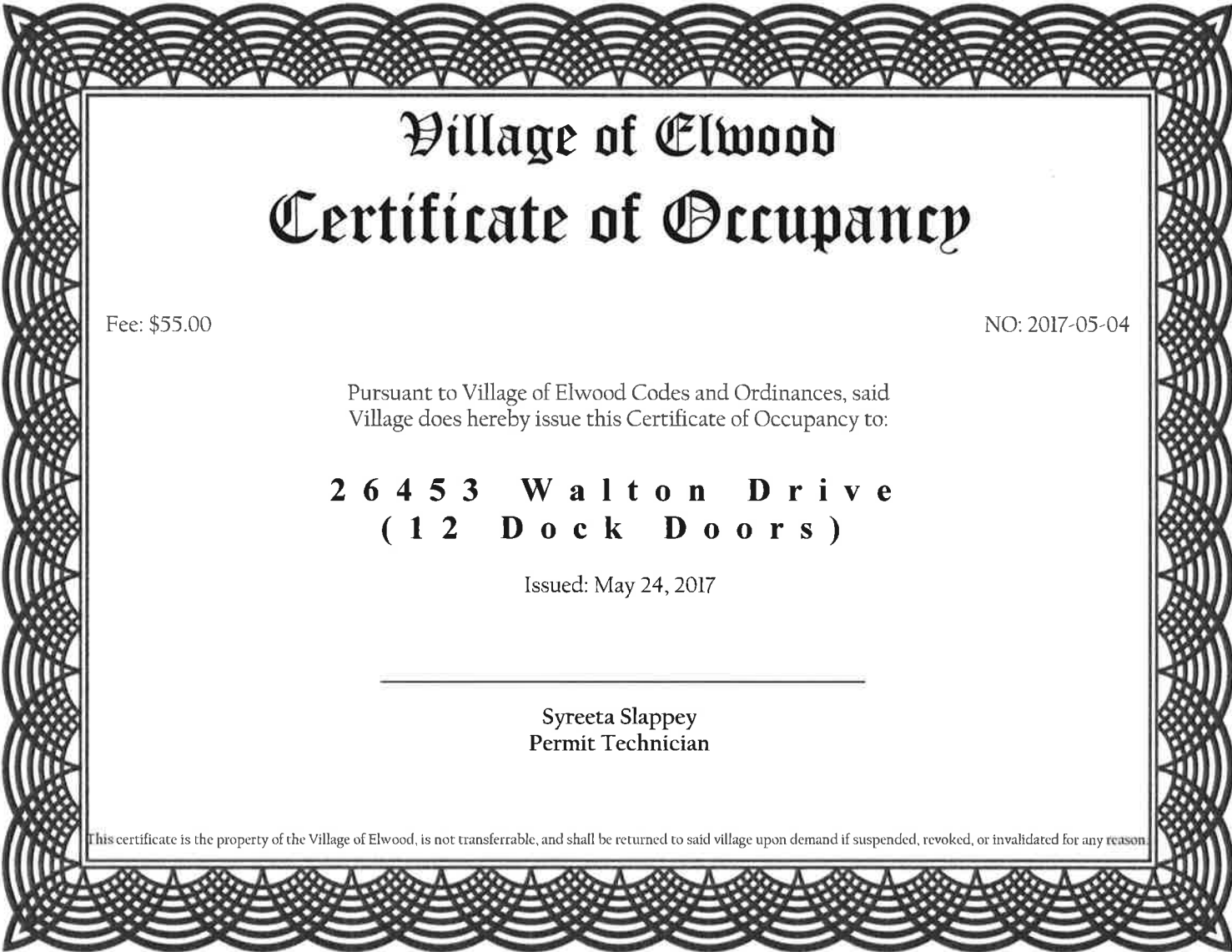
Phone Number: (682) 200-0344

REQUIRED INSPECTIONS

<input type="checkbox"/> Slab (pre-pour) Inspection		<input type="checkbox"/> Final Building Inspection		
<input type="checkbox"/> Rough Building Inspection		<input type="checkbox"/> Final Electrical Inspection		
<input type="checkbox"/> Rough Electrical Inspection				

APPROVAL SIGNATURE

Syreeta Slappey, Permit Technician



Village of Elwood Certificate of Occupancy

Fee: \$55.00

NO: 2017-05-04

Pursuant to Village of Elwood Codes and Ordinances, said
Village does hereby issue this Certificate of Occupancy to:

2 6 4 5 3 W a l t o n D r i v e
(1 2 D o c k D o o r s)

Issued: May 24, 2017

Syreeta Slaphey
Permit Technician

This certificate is the property of the Village of Elwood, is not transferrable, and shall be returned to said village upon demand if suspended, revoked, or invalidated for any reason.

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ❖ PHONE (815) 424-1074 ❖ FAX (815) 423-6861

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March 21, 2017

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Sincerely,

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Aaron Napier
Associate

RSP Architects, Ltd.
600 West 6th Street, Suite 100
Fort Worth, TX 76102
682 200 0340 main
612.677 7499 fax
rsparch.com

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4.4.17 (8/18)

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Lot

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Concrete		Address		Ph.		Fx.
Carpenter		Address		Ph.		Fx.
Brick Mason		Address		Ph.		Fx.
Plumber		Address		Ph.		Fx.
Sewer & Water		Address		Ph.		Fx.
Electrician	TBD	Address		Ph.		Fx.
Heating		Address		Ph.		Fx.
Roofing		Address		Ph.		Fx.
Insulator		Address		Ph.		Fx.
Asphalt		Address		Ph.		Fx.
Siding		Address		Ph.		Fx.
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Signature of Agent

Print Name

Aaron Napier



May 11, 2017

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Ashleigh Spacht
Deputy Village Administrator

May 11, 2017

26453 Walton Drive
Elwood, IL 60421

Building Permit for Installation of 12 Dock Doors – 26453 Walton Drive
Permit Number: 2017-05-04

On May 11, 2017 permit application, plans and documentation were examined for the attached proposed project. Based on the review of the submitted documentation, no additional information is required to be submitted for review and authorization.

This letter serves as approval for the installation of 12 dock doors at 26453 Walton Drive as applied for. Upon payment of the permit and inspection fee, in the amount of \$3,045.44, the applicant will be issued a building permit which is required to be displayed throughout the time of construction. The permit is issued for a period of 6 months, and will expire on 11/11/2017. The following conditions apply to approval:

1. Required Inspections:

*The applicant must notify the Village of Elwood when the project is ready for inspection. All inspections require a **minimum 48-hour business day notice** for scheduling purposes.

- a. Slab (pre-pour)
- b. Building Rough
- c. Electrical Rough
- d. Building Final
- e. Electrical Final
 - i. One (1) as-build inspection has been included in permit fee. Each additional as-build inspections will require an additional payment of \$55.00 per inspection.

If you have any questions or comments regarding this permit, or approval conditions, please contact the Village of Elwood.

Sincerely,



Ashleigh Spacht
Deputy Village Administrator

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ❖ PHONE (815) 424-1074 ❖ FAX (815) 423-6861

PERMIT NUMBER: 2017-05-04

ISSUE DATE: May 11, 2017

EXP. DATE: November 11, 2017

PROPERTY ADDRESS: 26453 Walton Drive
Elwood, IL 60421

PROPERTY MANAGER: Syreeta Slaphey

DESCRIPTION OF PERMITTED WORK

Installation of 12 additional dock doors in the existing Walmart warehouse.

CONTRACTOR INFORMATION

Contractor Company: RSP

Main Contact: Aaron Napier

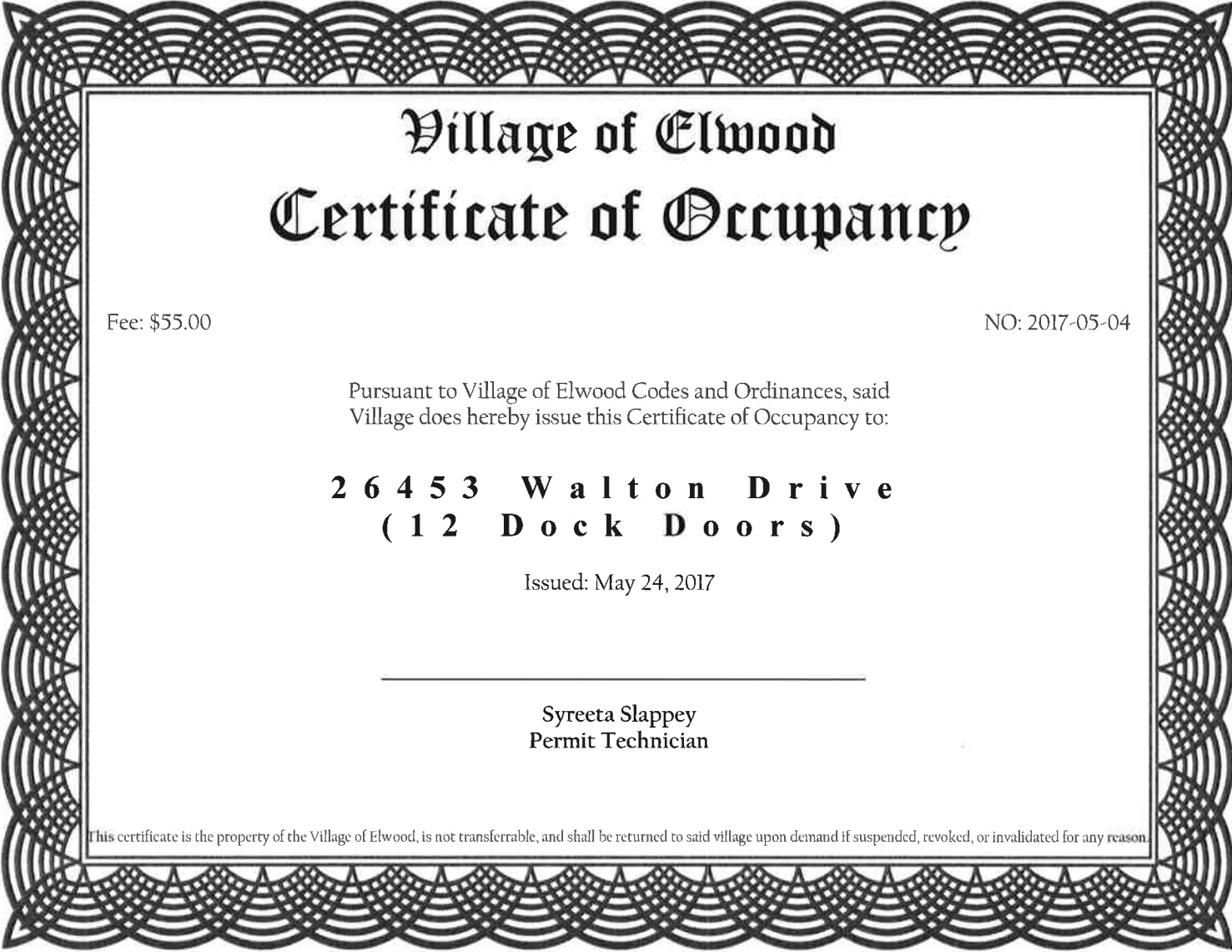
Phone Number: (682) 200-0344

REQUIRED INSPECTIONS

<input type="checkbox"/> Slab (pre-pour) Inspection		<input type="checkbox"/> Final Building Inspection		
<input type="checkbox"/> Rough Building Inspection		<input type="checkbox"/> Final Electrical Inspection		
<input type="checkbox"/> Rough Electrical Inspection				

APPROVAL SIGNATURE

Syreeta Slaphey, Permit Technician



Village of Elwood Certificate of Occupancy

Fee: \$55.00

NO: 2017-05-04

Pursuant to Village of Elwood Codes and Ordinances, said
Village does hereby issue this Certificate of Occupancy to:

2 6 4 5 3 W a l t o n D r i v e
(1 2 D o c k D o o r s)

Issued: May 24, 2017

Syreeta Slappey
Permit Technician

This certificate is the property of the Village of Elwood, is not transferrable, and shall be returned to said village upon demand if suspended, revoked, or invalidated for any reason.

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 424-1074 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-05-03

ISSUE DATE: May 11, 2017

EXP. DATE: November 11, 2017

PROPERTY ADDRESS: 26453 Walton Drive
Elwood, IL 60421

PROPERTY MANAGER: ..

DESCRIPTION OF PERMITTED WORK

Installation of additional pallet racking in the existing Walmart facility.

CONTRACTOR INFORMATION

Contractor Company: Steel King

Main Contact: Rich Hartzler

Phone Number: (570) 406-8477

REQUIRED INSPECTIONS

☐ Final Building Inspection

APPROVAL SIGNATURE

Syreeta Slaphey, Permit Technician

May 11, 2017

26453 Walton Drive
Elwood, IL 60421

Building Permit for Installation of Additional Pallet Racking – 26453 Walton Drive
Permit Number: 2017-05-03

On May 11, 2017 permit application, plans and documentation were examined for the attached proposed project. Based on the review of the submitted documentation, no additional information is required to be submitted for review and authorization.

This letter serves as approval for pallet racking installation at 26453 Walton Drive as applied for. Upon payment of the permit and inspection fee, in the amount of \$7,743.90, the applicant will be issued a building permit which is required to be displayed throughout the time of construction. The permit is issued for a period of 6 months, and will expire on 11/11/2017. The following conditions apply to approval:

1. Required Inspections:

*The applicant must notify the Village of Elwood when the project is ready for inspection. All inspections require a **minimum 48-hour business day notice** for scheduling purposes.

a. Final Building Inspection

- i. One (1) as-build inspection has been included in permit fee. Each additional as-build inspections will require an additional payment of \$55.00 per inspection.**

If you have any questions or comments regarding this permit, or approval conditions, please contact the Village of Elwood.

Sincerely,



Ashleigh Spacht
Deputy Village Administrator

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ❖ PHONE (815) 424-1074 ❖ FAX (815) 423-6861

PERMIT NUMBER: 2017-05-03

ISSUE DATE: May 11, 2017

EXP. DATE: November 11, 2017

PROPERTY ADDRESS: 26453 Walton Drive
Elwood, IL 60421

PROPERTY MANAGER:

DESCRIPTION OF PERMITTED WORK

Installation of additional pallet racking in the existing Walmart facility.

CONTRACTOR INFORMATION

Contractor Company: Steel King

Main Contact: Rich Hartzler

Phone Number: (570) 406-8477

REQUIRED INSPECTIONS

☐ Final Building Inspection

APPROVAL SIGNATURE

Syreeta Slappey, Permit Technician



May 11, 2017

26453 Walton Drive
Elwood, IL 60421

Building Permit for Installation of Additional Pallet Racking – 26453 Walton Drive
Permit Number: 2017-05-03

On May 11, 2017 permit application, plans and documentation were examined for the attached proposed project. Based on the review of the submitted documentation, no additional information is required to be submitted for review and authorization.

This letter serves as approval for pallet racking installation at 26453 Walton Drive as applied for. Upon payment of the permit and inspection fee, in the amount of \$7,743.90, the applicant will be issued a building permit which is required to be displayed throughout the time of construction. The permit is issued for a period of 6 months, and will expire on 11/11/2017. The following conditions apply to approval:

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Sincerely,

Ashleigh Spacht
Deputy Village Administrator

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 424-1074 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-05-02

ISSUE DATE: May 4, 2017

EXP. DATE: November 4, 2017

PROPERTY ADDRESS: 21705 W. Mississippi
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Removing & Replacing Current Light Fixtures. Adding Fixtures To Existing Wiring As Needed.

CONTRACTOR INFORMATION

Contractor Company: DLS Lighting

Main Contact: Robert Sweitzer

Phone Number: (847) 695-1730

REQUIRED INSPECTIONS

☐ Final Electrical Inspection

APPROVAL SIGNATURE

Syreeta Slappey, Permit Technician



Physical and Performance Information⁴

HBAC2

Series	Lumen Code	Actual Lumens	277V wattage	277V LPW	Input Voltage	Input Current/ Amps	Power Factor	CCT	CRI	Length	Width	Depth	Weight ⁵
HBAC2	A1	13,860	97w	143	277v	0.35	>.90	5000K	>80	48.09"	16.9"	2.9"	11 lbs.
HBAC2	B1	14,910	106w	141	277v	0.38	>.90	5000K	>80	48.09"	16.9"	2.9"	13 lbs.
HBAC2	B2	17,890	118w	151	277v	0.42	>.90	5000K	>80	48.09"	16.9"	2.9"	13 lbs.
HBAC2	C1	21,520	142w	152	277v	0.51	>.90	5000K	>80	48.09"	16.9"	2.9"	13 lbs.
HBAC2	D1	27,200	194w	140	277v	0.70	>.90	5000K	>80	48.09"	16.9"	2.9"	13 lbs.

In Tandem [Two fixtures with brackets] Physical and Performance Information⁵

Series	Lumen Code	Lumens ⁶	277V wattage ⁷	277V LPW	Input Voltage	Input Current/ Amps	Power Factor	CCT	CRI	Length ⁸	Width	Depth	Weight ⁵
HBAC2	B1	29,820	212w	141	277v	0.765	>.90	5000K	>80	96.18"	16.9"	2.9"	26 lbs.
HBAC2	B2	35,780	237w	151	277v	0.854	>.90	5000K	>80	96.18"	16.9"	2.9"	26 lbs.
HBAC2	C1	43,040	283w	152	277v	1.022	>.90	5000K	>80	96.18"	16.9"	2.9"	26 lbs.
HBAC2	D1	54,400	388w	140	277v	1.402	>.90	5000K	>80	96.18"	16.9"	2.9"	26 lbs.

Accessories (Sold Separately)

Additional fixture accessories available*. Click on the below [images](#) to view our expanded product offering:

Power Supply

- 6' Whip
- 11' Whip
- Straight Blade Plug
- Twist Lock Plug

Mounting Accessories

- Adjustable Y Wire Hangers
- 19" Aircraft Cable
- 31" Aircraft Cable
- Pendant Mount
- Rigid Mount
- Adjustable Wire Hangers (various lengths)

Tandem Accessories

- Need 1 bracket per 2 fixtures ordered (LED-HBAC-TANDEM-KIT)⁹.
- 1 power supply per fixture
- 1 control per fixture if applicable
- 1 hanging system per fixture

Controls

- Intelite Smart Motion⁹
- Third party end mounted and Integrated Sensors are available.
- Enlighted Control
- Daintree ZigBee Wireless Control

HBAC2

Features and Specifications

Applications

The HBAC2 is well suited to exceed high and low bay illumination requirements for industrial, commercial, and retail applications. Ideal when seeking feature rich, value oriented energy savings and maintenance reduction solutions.

Features

- Unique modular design allows for ease of field maintenance and is upgradeable for performance enhancements.
- Superior thermal management leads to longer life and enhanced performance.
- Intelligent control options offered to achieve additional energy savings.
- Optional glare control lens system to enhance low bay applications.
- Optional aisle illumination performance package.
- Aluminum powdered coated body for thermal management.
- Tandem accessories for double the light output utilizing two fixtures.

Optics

Lens: Acrylic frosted or polycarbonate clear. Aisle Illuminator package: 95% reflectance polished aluminum.

Certification & Listings

- UL Damp Listed.
- Buy American Act Compliant.
- DesignLights Consortium Premium qualified luminaire.
- Visit the [DLC QPL](#) for listed models.

Electrical

Available in 120-277v, 347v and 480v. 0-10v dimming driver is standard. Non-dimming driver option available. For bi-level functionality, consult Orion for approved solution.

Ambient Operating Range³

-22°F to 131°F [-30°C to 55°C].
-4°F to 131°F [-20°C to 55°C] B2 versions only.
*NOTE: If circuit level motion sensors are used: 32°F to 131°F [0°C to 55°C].

Rated Life

125,000 hours per L70 TM-21 @ 25°C.

Warranty

Orion LED APOLLO® class fixtures are covered by a five-year limited warranty. Accessories and individual components are covered by separate OEM supplier warranties.



Required Ordering Information

1 Select HBAC2 Series HBAC2 APOLLO LED High Bay Gen 2	2 Select A1 Nominal Lumens ¹ A1 13,000 lumens B1 15,000 lumens B2 18,000 lumens C1 21,000 lumens D1 27,000 lumens	3 Select OA Application OA Open Area AA Aisle Area
4 Select UNV Voltage UNV 120-277v 347 347v 480 480v	5 Select NDX Driver Type NDX Non-Dimming FDX Full-Dimming ²	6 Select 840 CRI/Color Temperature 840 80 CRI; 4000K 850 80 CRI; 5000K
7 Select NL Lens Options NL No Lens LF Lens, Frosted Acrylic LC Lens, Clear Polycarbonate	8 Select PF Power Connection PF Platform HW Hardwired ML Mate-N-Lock Note: "ML" only available on "NDX" driver type	9 Select FWBB Fixture Options FWBB Fixture w/Battery Back Up WS08 With Integrated Sensor for 8' or less ceiling applications WS20 With Integrated Sensor for 20' or less ceiling applications WS40 With Integrated Sensor for 40' or less ceiling applications EN Enlighted Wireless Sensor BT Bluetooth ZigBee wireless sensor embedded in driver channel (works for fixtures mounted 40' or less) BBOE Battery Back Up with Orange Painted End Caps OE Orange Painted End Caps

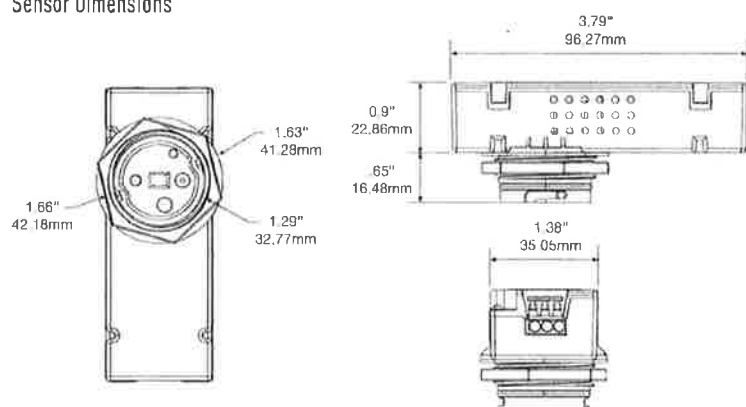
Note: Full Dimming driver is required with "EN" and "WSXX" orders.

Specifications

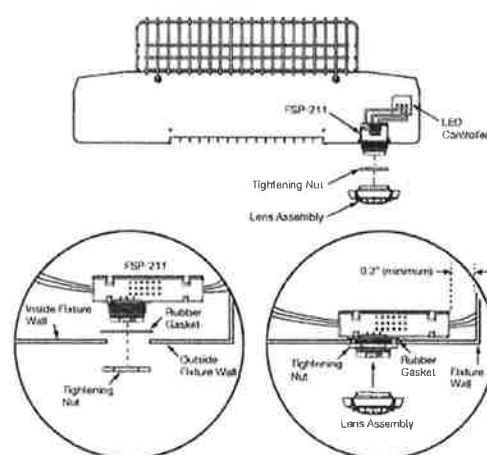
- 120/277 VAC, 50/60Hz
 - Load @120 VAC 0-800W ballast or incandescent
 - Load @277 VAC 0-1200W ballast
- 230 VAC, 50Hz; Load 0-300W ballast
- Relay life rating: 200,000 cycles (120/277 VAC); 50,000 cycles (230 VAC)
- High mode: 0-10 V; default 10 V
- Low mode: Off, 0-9.8 V; default 1 V
- Time delay: 30 sec., 5-30 min.; default 5 min.
- Cut off delay: none, 1-60 min. 1-5 hrs.; default 1 hr.
- Sensitivity/service mode: low, med, max; on-fix, off-fix; default max
- Hold off setpoint: disable, 1-250 fc, auto; default disabled
- Photocell On/Off: 1-250 fc; default disabled
- Ramp up time: none, disable, 1-60 sec.; default disabled
- Fade down time: none, disable, 1-60 sec.; default disabled
- Operating temperature: -40 to 167°F (-40 to 75°C)
- Operating Humidity: 20-90%
- Weight: 2.8 oz (80 grams)
- IP66, CE compliant
- TUV, UL and cUL listed (E101196)
- Five year warranty

Dimensions, Mounting & Wiring

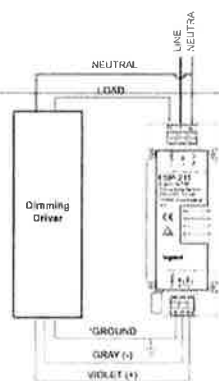
Sensor Dimensions



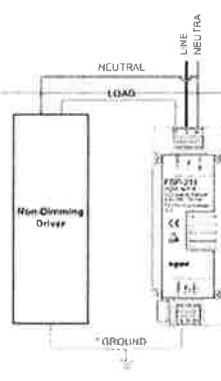
Sensor Mounting



Dimming Wiring Diagram



Non-Dimming Wiring Diagram



The FSP-211 accommodates fixture wall thickness up to 0.125" (3.18mm)

* The FSP-211 must be properly grounded

Ordering Information

Catalog #	Color	Description	Input Voltage
<input type="checkbox"/> FSP-211	White	Fixture mount PIR motion sensor	120/277VAC, 50/60Hz or 230VAC, 50Hz
<input type="checkbox"/> FSP-211-U	White	Fixture mount PIR motion sensor, BAA/TAA compliant*	

Note: FSP-Lx series lens required for operation; order lens separately.

*Product is compliant with Buy American Act and Trade Agreement Act

LINE VOLTAGE HIGH/LOW/OFF PIR FIXTURE INTEGRATED OUT-DOOR PHOTO/MOTION SENSOR

FSP-211

Fully adjustable high and low dimmed light levels; optional dusk to dawn control

Designed for LED fixtures; rated for extreme temperatures and up to 200,000 on/off cycles

Hold off setpoint with automatic calibration option for convenience and added energy savings



Adjustable via handheld wireless configuration tool

IP66 rated with choice of lenses for wet and outdoor locations, and mounting heights from 8' to 40'

Adjustable time delay and cut off delay



Description

The FSP-211 mounts in an outdoor lighting fixture and provides multi-level control based on motion and/or daylight contribution. It controls 0-10 VDC LED drivers or dimming ballasts, as well as non-dimming ballasts and, with an FSP-Lx Lens, is rated for wet and cold locations. All control parameters are adjustable via a wireless configuration tool capable of storing and transmitting sensor profiles.

Operation

Typically, the sensor ramps lighting On to the selected High mode level when motion is detected and the ambient light level is below the hold off setpoint. After the sensor stops detecting movement and the time delay elapses, lights fade to the Low mode level. If there is no motion during the subsequent cut off time delay, the lights will turn Off. For dusk to dawn control, the integral photocell can switch the lights On and Off based on the ambient light level so that lighting remains on overnight even without motion detection.

Wireless Handheld Configuration Tool

Initial setup and subsequent sensor adjustments are made using a handheld configuration tool (FSIR-100). This tool enables adjustment of parameters including high and low modes, sensitivity, time delay, cut off and more. The FSIR-100 is also used to initiate automatic calibration of the FSP-211 ambient light level setpoint. The setpoint is used to hold the controlled lighting off or at low level when there is sufficient daylight. The wireless tool stores up to six sensor parameter profiles to speed configuration of multiple sensors.

Applications

The slim, low-profile FSP-211 is designed for installation inside the bottom of a light fixture body. When fully assembled and installed in an IP66-rated fixture, the sensor and FSP-Lx lenses are IP66 outdoor rated. The sensor is ideal for areas such as parking facilities, gas stations, pedestrian pathways and warehouses. A choice of four lenses ensures complete coverage for mounting heights up to 40'.

Features

- Provides line voltage On/Off switching and 0-10 VDC dimming control
- Works with ballasts or LED drivers
- High and low modes fully adjustable from 0 to 10V
- Time delay from 5 to 30 minutes
- Optional cut off delay
- Adjustable ramp up and fade down times
- Optional daylighting setpoints feature automatic calibration, or permit manual adjustment
- Configuration tool stores six sensor profiles for quick setup and adjustment of multiple sensors
- Polycarbonate construction; flame retardant, UV resistant, impact resistant, recyclable
- UL244A and UL508; IP66 rated (when fully assembled and installed) for use in wet locations
- This product meets the materials restrictions of RoHS
- BAA/TAA-compliant models available

PHOTOCELL		ADJUSTABLE	
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NOTICE

A certificate of occupancy and compliance must be issued prior to occupancy of all new structures, additions and for change of use

	FEES		FEES
Building Plan review Fee	\$ 25	Capacity Expansion Fee	\$
Building Permit Fee	\$ 6397 ^{1/2}	Water Meter fee	\$
Building Inspection Fee	\$	Water Tap Fee	\$
Electrical Fee	\$ 55	Sewer Tap Fee	\$
Plumbing Fee	\$	Other	\$
Sign Fee	\$	Other	\$
Certificate of Occupancy	\$	Bond	\$
Village Impact Fee	\$	Total Fee	\$
Park District impact Fee	\$	(minus deposit)	\$
Fire District impact Fee (paid)		BALANCE DUE	\$ 6477 ^{1/2}
School Impact Fee (paid)			

A PERMIT FOR THIS WORK IS HEREBY AUTHORIZED

Building Official

Sign of official

Date

5-3-17

4.11.17 (882)

Date Received by
Com. Dev. Dept.



Village of Elwood
Established 1880
Proud of our past. Building our future

P.O. Box 435, Elwood, IL 60421
Tel: (815)423-5011 - Fax: (815)423-6861

2017-05-02

Permit Number

5-4-17

Date Issued

APPLICATION FOR BUILDING PERMIT

OWNER

Job Address 21705 W. Mississippi Street
Name
Address 25 Northwest Point Blvd, #550
City/Zip Elk Grove Village
Telephone 847-264-2128 Fax 847-593-4875

Lot

Block Unit

Sub'd.

Tax No. 04-10-25-201-12

Zoning

Valuation 639,731⁰⁰ Sq. Footage 1,027,072

Project Description DSC Logistics Warehouse Lighting

Replace existing T8 highbay fixtures with new LED fixtures. Install new conduit & wiring as needed.

The Village of Elwood requires all contractors and sub-contractors to register with the Village and pay the current registration fee and provide a certificate of insurance and bond requirements. Roofing and plumbing contractors are to provide a State of Illinois license. Electricians are to provide a license.

Architect	Address	Ph.	Fx.
General	Address	Ph.	Fx.
Excavator	Address	Ph.	Fx.
Concrete	Address	Ph.	Fx.
Carpenter	Address	Ph.	Fx.
Brick Mason	Address	Ph.	Fx.
Plumber	Address	Ph.	Fx.
Sewer & Water	Address	Ph.	Fx.
Electrician DLS Lighting Service	Address 201 James St, Bensenville, IL 60106	Ph. 847-695-1730	Fx. 847-695-2946
Heating	Address	Ph.	Fx.
Roofing	Address	Ph.	Fx.
Insulator	Address	Ph.	Fx.
Asphalt	Address	Ph.	Fx.
Siding	Address	Ph.	Fx.
Other	Address	Ph.	Fx.
Other	Address	Ph.	Fx.

CONDITIONS OF PERMIT

In consideration of this application and attached forms being made a part thereof and the issuance of permit, I will conform to the regulations set forth in the Village of Elwood codes and ordinances.

I also agree that all work performed under said permit will be in accordance with the plans and specifications which accompany this application, except for such changes as may be authorized or required by the Building Official.

All inspections require a MINIMUM 48 hour notice.

Call 815-423-5011

Inspection required prior to placement of concrete.

Applicants required to notify J.U.L.I.E.

Call 1-800/892-0123 prior to digging.

Signature of Agent

Robert Sweitzer

Print Name

Robert Sweitzer

MISCELLANEOUS PLAN REVIEW

Municipality: Village of Edward

Owner/Occupant: _____

Site address: 21704 171st Mississippi

Applicants name: _____ Applicant's telephone: 847 695 1730

Type of review: Replace Warehouse Lightings

B & F Plan Review Project Number: _____

B & F Inspection number: _____

Municipal permit number: _____

Other dept./consultant approval: _____ ☐ N/A

☒ MS Comply ☐ Not comply ☐ Comply with notes

Comments: 1. provide a detail Drawing of new Light Location's

A Are They Motion Sensor

B How many Light's

C Specs for Light's

Approved - 5-3-17

Plan Reviewer: Mike Shy Date: 4-21-17

Fees: Plan Review: \$ 2500 Inspections: \$ _____

Sheet 1 of 1

May 4, 2017

21705 W. Mississippi
Elwood, IL 60421

Building Permit for the Removal & Replacement of Lighting Fixtures – 21705 W. Mississippi

Permit Number: 2017-05-02

On May 4, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no concerns with the drawings or electrical work that is to be done.

This letter serves as an approval for the removal and replacement of lighting fixtures at 21705 W. Mississippi. Upon payment of the permit fee in the amount of \$6,477.31, the applicant will be issued a permit which is required to be displayed throughout the time of installation. The building permit is issued for a period of 6 months and will expire on November 04, 2017. The following conditions apply to permit approval:

- 1) The applicant will notify the Village of Elwood when the work is ready to be inspected. All inspections require a minimum of two business days' notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, I can be reached at (815) 424-1074, or via email at ashleigh.spacht@villageofelwood.com.

Sincerely,



Ashleigh Spacht

Director of Community & Organizational Development

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 424-1074 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-05-02

ISSUE DATE: May 4, 2017

EXP. DATE: November 4, 2017

PROPERTY ADDRESS: 21705 W. Mississippi
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Removing & Replacing Current Light Fixtures. Adding Fixtures To Exsisting
Wiring As Needed.

CONTRACTOR INFORMATION

Contractor Company: DLS Lighting

Main Contact: Robert Sweitzer

Phone Number: (847) 695-1730

REQUIRED INSPECTIONS

☐ Final Electrical Inspection

APPROVAL SIGNATURE

Syreeta Slaphey, Permit Technician

May 4, 2017

S

21705 W. Mississippi
Elwood, IL 60421

Building Permit for the Removal & Replacement of Lighting Fixtures – 21705 W. Mississippi

Permit Number: 2017-05-02

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Sincerely,



Ashleigh Spacht

Director of Community & Organizational Development

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ❖ PHONE (815) 424-1074 ❖ FAX (815) 423-6861

PERMIT NUMBER: 2017-05-02

ISSUE DATE: May 4, 2017

EXP. DATE: November 4, 2017

PROPERTY ADDRESS: 21705 W. Mississippi
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Removing & Replacing Current Light Fixtures. Adding Fixtures To Existing
Wiring As Needed.

CONTRACTOR INFORMATION

Contractor Company: DLS Lighting


Main Contact: Robert Sweitzer

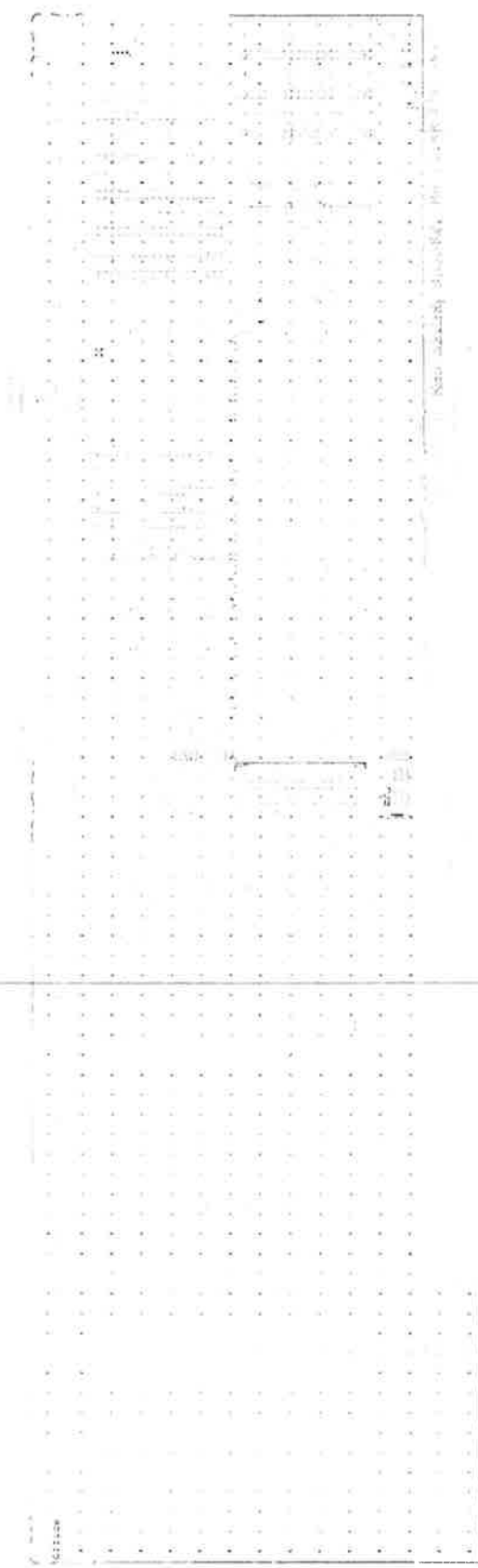
Phone Number: (847) 695-1730

REQUIRED INSPECTIONS

☐ Final Electrical Inspection

APPROVAL SIGNATURE


Syreeta Slappey, Permit Technician



Physical and Performance Information⁴

HBAC2

Series	Lumen Code	Actual Lumens	277V wattage	277V LPW	Input Voltage	Input Current/ Amps	Power Factor	CCT	CRI	Length	Width	Depth	Weight ⁵
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In Tandem (Two fixtures with brackets) Physical and Performance Information⁵

Series	Lumen Code	Lumens ⁶	277V wattage ⁷	277V LPW	Input Voltage	Input Current/ Amps	Power Factor	CCT	CRI	Length ⁸	Width	Depth	Weight ⁵
HBAC2	B1	29,820	212w	141	277v	0.765	>.90	5000K	>80	96.18"	16.9"	2.9"	26 lbs.
HBAC2	B2	35,780	237w	151	277v	0.854	>.90	5000K	>80	96.18"	16.9"	2.9"	26 lbs.
HBAC2	C1	43,040	283w	152	277v	1.022	>.90	5000K	>80	96.18"	16.9"	2.9"	26 lbs.
HBAC2	D1	54,400	388w	140	277v	1.402	>.90	5000K	>80	96.18"	16.9"	2.9"	26 lbs.

Accessories (Sold Separately)

Additional fixture accessories available*. Click on the below [hyperlinks](#) to view our expanded product offering:

Power Supply

- 6' Whip
- 11' Whip
- Straight Blade Plug
- Twist Lock Plug

Mounting**Accessories**

- [Adjustable Y Wire Hangers](#)
- [19" Aircraft Cable](#)
- [31" Aircraft Cable](#)
- [Pendant Mount](#)

- Rigid Mount
- Adjustable Wire Hangers (various lengths)

Tandem Accessories

- Need 1 bracket per 2 fixtures ordered (LED-HBAC-TANDEM-KIT)⁹.
- 1 power supply per fixture
- 1 control per fixture if applicable
- 1 hanging system per fixture

Controls

- Intelite Smart Motion⁹
- Third party end mounted and Integrated Sensors are available.
- Enlighted Control
- Daintree ZigBee Wireless Control

HBAC2

Features and Specifications

Applications

The HBAC2 is well suited to exceed high and low bay illumination requirements for industrial, commercial, and retail applications. Ideal when seeking feature rich, value oriented energy savings and maintenance reduction solutions.

Features

- Unique modular design allows for ease of field maintenance and is upgradeable for performance enhancements.
- Superior thermal management leads to longer life and enhanced performance.
- Intelligent control options offered to achieve additional energy savings.
- Optional glare control lens system to enhance low bay applications.
- Optional aisle illumination performance package.
- Aluminum powdered coated body for thermal management.
- Tandem accessories for double the light output utilizing two fixtures.

Optics

Lens: Acrylic frosted or polycarbonate clear.
Aisle Illuminator package: 95% reflectance polished aluminum.

Certification & Listings

- UL Damp Listed.
- Buy American Act Compliant.
- DesignLights Consortium Premium qualified luminaire.
- Visit the [DLC QPL](#) for listed models.

Electrical

Available in 120-277v, 347v and 480v.
0-10v dimming driver is standard. Non-dimming driver option available.
For bi-level functionality, consult Orion for approved solution.

Ambient Operating Range³

-22°F to 131°F (-30°C to 55°C).
-4°F to 131°F (-20°C to 55°C) B2 versions only.
*NOTE: If circuit level motion sensors are used: 32°F to 131°F (0°C to 55°C).

Rated Life

125,000 hours per L70 TM-21 @ 25°C.

Warranty

Orion LED APOLLO® class fixtures are covered by a five-year limited warranty. Accessories and individual components are covered by separate OEM supplier warranties.



Required Ordering Information

1 Select **HBAC2**

Series

HBAC2 APOLLO LED High Bay Gen 2

2 Select **---**

Nominal Lumens¹

A1 13,000 lumens
B1 15,000 lumens
B2 18,000 lumens
C1 21,000 lumens
D1 27,000 lumens

3 Select **---**

Application

OA Open Area
AA Aisle Area

4 Select **---**

Voltage

UNV 120-277v
347 347v
480 480v

5 Select **---**

Driver Type

NDX Non-Dimming
FDX Full-Dimming

6 Select **---**

CRI/Color Temperature

840 80 CRI; 4000K
850 80 CRI; 5000K

7 Select **---**

Lens Options

NL No Lens
LF Lens, Frosted Acrylic
LC Lens, Clear Polycarbonate

8 Select **---**

Power Connection

PF Platform
HW Hardwired
ML Mate-N-Lock
Note: "ML" only available on "NDX" driver type

9 Select **---**

Fixture Options

FWBB Fixture w/Battery Back Up
WS08 With Integrated Sensor for 8' or less ceiling applications
WS20 With Integrated Sensor for 20' or less ceiling applications
WS40 With Integrated Sensor for 40' or less ceiling applications
-EN Enlighted Wireless Sensor
-DT Daintree ZigBee wireless sensor embedded in driver channel (works for fixtures mounted 40' or less)
BBOE Battery Back Up with Orange Painted End Caps
OE Orange Painted End Caps

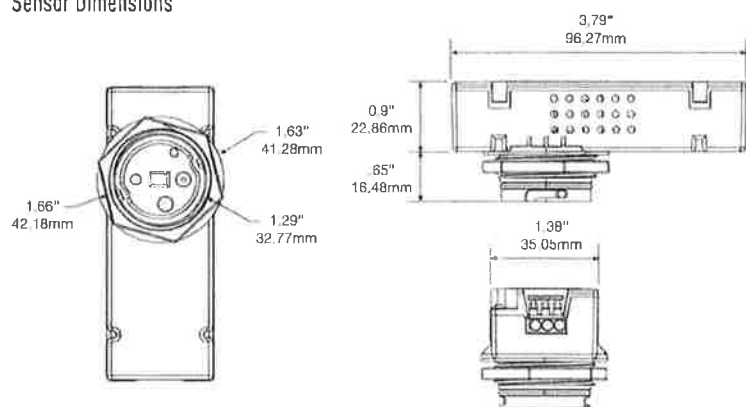
Note: Full Dimming driver is required with "EN" and "WSXX" orders.

Specifications

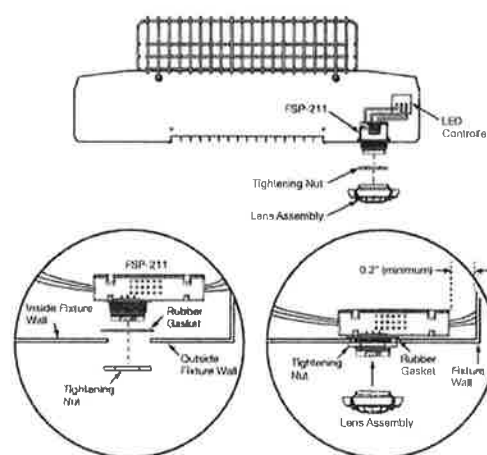
- 120/277 VAC, 50/60Hz
 - Load @120 VAC 0-800W ballast or incandescent
 - Load @277 VAC 0-1200W ballast
- 230 VAC, 50Hz; Load 0-300W ballast
- Relay life rating: 200,000 cycles (120/277 VAC); 50,000 cycles (230 VAC)
- High mode: 0-10 V; default 10 V
- Low mode: Off, 0-9.8 V; default 1 V
- Time delay: 30 sec., 5-30 min.; default 5 min.
- Cut off delay: none, 1-60 min. 1-5 hrs.; default 1 hr.
- Sensitivity/service mode: low, med, max; on-fix, off-fix; default max
- Hold off setpoint: disable, 1-250 fc, auto; default disabled
- Photocell On/Off: 1-250 fc; default disabled
- Ramp up time: none, disable, 1-60 sec.; default disabled
- Fade down time: none, disable, 1-60 sec.; default disabled
- Operating temperature: -40 to 167°F (-40 to 75°C)
- Operating Humidity: 20-90%
- Weight: 2.8 oz (80 grams)
- IP66, CE compliant
- TUV, UL and cUL listed (E101196)
- Five year warranty

Dimensions, Mounting & Wiring

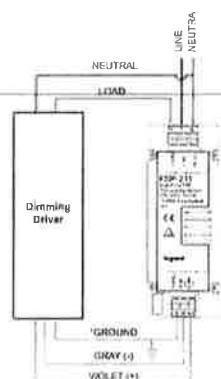
Sensor Dimensions



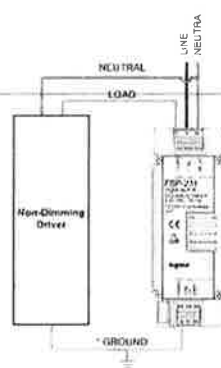
Sensor Mounting



Dimming Wiring Diagram



Non-Dimming Wiring Diagram



The FSP-211 accommodates fixture wall thickness up to 0.125" (3.18mm)

* The FSP-211 must be properly grounded

Ordering Information

Catalog #	Color	Description	Input Voltage
<input type="checkbox"/> FSP-211	White	Fixture mount PIR motion sensor	120/277VAC, 50/60Hz or 230VAC, 50Hz
<input type="checkbox"/> FSP-211-U	White	Fixture mount PIR motion sensor, BAA/TAA compliant*	

Note: FSP-Lx series lens required for operation; order lens separately.

*Product is compliant with Buy American Act and Trade Agreement Act

LINE VOLTAGE HIGH/LOW/OFF PIR FIXTURE INTEGRATED OUT-DOOR PHOTO/MOTION SENSOR

FSP-211

Fully adjustable high and low dimmed light levels; optional dusk to dawn control

Designed for LED fixtures; rated for extreme temperatures and up to 200,000 on/off cycles

Hold off setpoint with automatic calibration option for convenience and added energy savings



Adjustable via handheld wireless configuration tool

IP66 rated with choice of lenses for wet and outdoor locations, and mounting heights from 8' to 40'

Adjustable time delay and cut off delay



Description

The FSP-211 mounts in an outdoor lighting fixture and provides multi-level control based on motion and/or daylight contribution. It controls 0-10 VDC LED drivers or dimming ballasts, as well as non-dimming ballasts and, with an FSP-Lx Lens, is rated for wet and cold locations. All control parameters are adjustable via a wireless configuration tool capable of storing and transmitting sensor profiles.

Operation

Typically, the sensor ramps lighting On to the selected High mode level when motion is detected and the ambient light level is below the hold off setpoint. After the sensor stops detecting movement and the time delay elapses, lights fade to the Low mode level. If there is no motion during the subsequent cut off time delay, the lights will turn Off. For dusk to dawn control, the integral photocell can switch the lights On and Off based on the ambient light level so that lighting remains on overnight even without motion detection.

Wireless Handheld Configuration Tool

Initial setup and subsequent sensor adjustments are made using a handheld configuration tool (FSIR-100). This tool enables adjustment of parameters including high and low modes, sensitivity, time delay, cut off and more. The FSIR-100 is also used to initiate automatic calibration of the FSP-211 ambient light level setpoint. The setpoint is used to hold the controlled lighting off or at low level when there is sufficient daylight. The wireless tool stores up to six sensor parameter profiles to speed configuration of multiple sensors.

Applications

The slim, low-profile FSP-211 is designed for installation inside the bottom of a light fixture body. When fully assembled and installed in an IP66-rated fixture, the sensor and FSP-Lx lenses are IP66 outdoor rated. The sensor is ideal for areas such as parking facilities, gas stations, pedestrian pathways and warehouses. A choice of four lenses ensures complete coverage for mounting heights up to 40'.

Features

- Provides line voltage On/Off switching and 0-10 VDC dimming control
- Works with ballasts or LED drivers
- High and low modes fully adjustable from 0 to 10V
- Time delay from 5 to 30 minutes
- Optional cut off delay
- Adjustable ramp up and fade down times
- Optional daylighting setpoints feature automatic calibration, or permit manual adjustment
- Configuration tool stores six sensor profiles for quick setup and adjustment of multiple sensors
- Polycarbonate construction; flame retardant, UV resistant, impact resistant, recyclable
- UL244A and UL508; IP66 rated (when fully assembled and installed) for use in wet locations
- This product meets the materials restrictions of RoHS
- BAA/TAA-compliant models available

PROJECT		SECTION	
---------	--	---------	--

NOTICE

A certificate of occupancy and compliance must be issued prior to occupancy of all new structures, additions and for change of use.

	FEES		FEES
Building Plan review Fee	\$ 25	Capacity Expansion Fee	\$
Building Permit Fee	\$ 6397 ³¹	Water Meter fee	\$
Building Inspection Fee	\$	Water Tap Fee	\$
Electrical Fee	\$ 55	Sewer Tap Fee	\$
Plumbing Fee	\$	Other	\$
Sign Fee	\$	Other	\$
Certificate of Occupancy	\$	Bond	\$
Village Impact Fee	\$	Total Fee	\$
Park District impact Fee	\$	(minus deposit)	\$
Fire District impact Fee (paid)		BALANCE DUE	\$ 6477 ³¹
School Impact Fee (paid)			

A PERMIT FOR THIS WORK IS HEREBY AUTHORIZED

Building Official

Sign of official

Date

5-3-17

4.11.17 (882)

Date Received by
Com. Dev. Dept.



Village of Elwood
Established 1889
Proud of our past. Building our future

P.O. Box 435, Elwood, IL 60421
Tel: (815)423-5011 - Fax: (815)423-6861

2017-05-02

Permit Number

5-4-17

Date Issued

APPLICATION FOR BUILDING PERMIT

OWNER

Job Address	21705 W. Mississinoui Street	Lot	
Name		Block	Unit
Address	25 Northwest Point Blvd, #550	Sub'd.	
City/Zip	Elk Grove Village	Tax No.	04-10-25-201-12
Telephone	847-264-2128 Fax 847-593-4875	Zoning	
Project Description	DSC Logistics Warehouse Lighting	Valuation	639,731 ⁰⁰ Sq. Footage 1,027,072
Replace existing T8 highbay fixtures with new LED fixtures. Install new conduit & wiring as needed.			

The Village of Elwood requires all contractors and sub-contractors to register with the Village and pay the current registration fee and provide a certificate of insurance and bond requirements. Roofing and plumbing contractors are to provide a State of Illinois license. Electricians are to provide a license.

Architect	Address	Ph.	Fx.
General	Address	Ph.	Fx.
Excavator	Address	Ph.	Fx.
Concrete	Address	Ph.	Fx.
Carpenter	Address	Ph.	Fx.
Brick Mason	Address	Ph.	Fx.
Plumber	Address	Ph.	Fx.
Sewer & Water	Address	Ph.	Fx.
Electrician	DLS Lighting Service	Address 201 James St, Bensenville, IL 60106	Ph. 847-695-1730 Fx. 847-695-2946
Heating	Address	Ph.	Fx.
Roofing	Address	Ph.	Fx.
Insulator	Address	Ph.	Fx.
Asphalt	Address	Ph.	Fx.
Siding	Address	Ph.	Fx.
Other	Address	Ph.	Fx.
Other	Address	Ph.	Fx.

CONDITIONS OF PERMIT

In consideration of this application and attached forms being made a part thereof and the issuance of permit, I will conform to the regulations set forth in the Village of Elwood codes and ordinances.
I also agree that all work performed under said permit will be in accordance with the plans and specifications which accompany this application, except for such changes as may be authorized or required by the Building Official.

All inspections require a MINIMUM 48 hour notice.
Call 815-423-5011
Inspection required prior to placement of concrete.
Applicants required to notify J.U.L.I.E.
Call 1-800/892-0123 prior to digging.

Signature of Agent

Robert Sweitzer

Print Name

Robert Sweitzer

MISCELLANEOUS PLAN REVIEW

Municipality: Village of Edward

Owner/Occupant: _____

Site address: 21705 W. Mississippi

Applicants name: _____ Applicant's telephone: 847 695 1730

Type of review: Replace Warehouse Lightlines

B & F Plan Review Project Number: _____

B & F Inspection number: _____

Municipal permit number: _____

Other dept./consultant approval: _____ ☐ N/A

☒ MS Comply ☐ Not comply ☐ Comply with notes

Comments: 1. provide a detail Drawing of new
Light Location's

A Are They Motion Sensor

B How many Light's

C Specs for Light's

Approved - 5-3-17

Plan Reviewer: Mike Shy Date: 4-21-17

Fees: Plan Review: \$ 2500 Inspections: \$ _____

Sheet 1 of 1



May 4, 2017

21705 W. Mississippi
Elwood, IL 60421

Building Permit for the Removal & Replacement of Lighting Fixtures – 21705 W. Mississippi

Permit Number: 2017-05-02

On May 4, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no concerns with the drawings or electrical work that is to be done.

This letter serves as an approval for the removal and replacement of lighting fixtures at 21705 W. Mississippi. Upon payment of the permit fee in the amount of \$6,477.31, the applicant will be issued a permit which is required to be displayed throughout the time of installation. The building permit is issued for a period of 6 months and will expire on November 04, 2017. The following conditions apply to permit approval:

- 1) The applicant will notify the Village of Elwood when the work is ready to be inspected. All inspections require a minimum of two business days' notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, I can be reached at (815) 424-1074, or via email at ashleigh.spacht@villageofelwood.com.

Sincerely,

A handwritten signature in cursive script that reads "Ashleigh Spacht".

Ashleigh Spacht

Director of Community & Organizational Development

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ❖ PHONE (815) 424-1074 ❖ FAX (815) 423-6861

PERMIT NUMBER: 2017-05-02

ISSUE DATE: May 4, 2017

EXP. DATE: November 4, 2017

PROPERTY ADDRESS: 21705 W. Mississippi
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Removing & Replacing Current Light Fixtures. Adding Fixtures To Exsisting
Wiring As Needed.

CONTRACTOR INFORMATION

Contractor Company: DLS Lighting

Main Contact: Robert Sweitzer

Phone Number: (847) 695-1730

REQUIRED INSPECTIONS

☐ Final Electrical Inspection

APPROVAL SIGNATURE

Syreeta Slappey, Permit Technician



May 4, 2017

21705 W. Mississippi
Elwood, IL 60421

Building Permit for the Removal & Replacement of Lighting Fixtures – 21705 W. Mississippi

Permit Number: 2017-05-02

On May 4, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no concerns with the drawings or electrical work that is to be done.

This letter serves as an approval for the removal and replacement of lighting fixtures at 21705 W. Mississippi. Upon payment of the permit fee in the amount of \$6,477.31, the applicant will be issued a permit which is required to be displayed throughout the time of installation. The building permit is issued for a period of 6 months and will expire on November 04, 2017. The following conditions apply to permit approval:

- 1) The applicant will notify the Village of Elwood when the work is ready to be inspected. All inspections require a minimum of two business days' notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, I can be reached at (815) 424-1074, or via email at ashleigh.spacht@villageofelwood.com.

Sincerely,

Ashleigh Spacht

Director of Community & Organizational Development

May 1, 2017

900 Laurel Drive
Elwood, IL 60421

Building Permit for Deck Installation – 900 Laurel Drive

Permit Number: 2017-05-01

On May 1, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further engineering concerns.

This letter serves as an approval for the installation of a deck at 900 Laurel Drive. Upon payment of the permit fee in the amount of \$226.00, the resident will be issued a permit which is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 11/01/2017. The following conditions apply to permit approval:

- 1) The inspector shall verify that deck postholes are 42" below grade before concrete is poured.
- 2) Inspector shall complete & approve a rough framing inspection before decking is applied
- 3) Permit holder shall schedule a final inspection.
 - a. Deck is not to be occupied until final inspection has been approved by local building inspector.
- 4) The applicant must notify the Village of Elwood when ready for inspection. All inspections require a minimum 48-hour business day notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, please contact Syreeta Slappey at (815) 424-1091, or via email at syreeta.slappey@villageofelwood.com.

Sincerely,



Ashleigh Spacht
Assistant Village Administrator



May 1, 2017

900 Laurel Drive
Elwood, IL 60421

Building Permit for Deck Installation – 900 Laurel Drive

Permit Number: 2017-05-01

On May 1, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further engineering concerns.

This letter serves as an approval for the installation of a deck at 900 Laurel Drive. Upon payment of the permit fee in the amount of \$226.00, the resident will be issued a permit which is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 11/01/2017. The following conditions apply to permit approval:

- 1) The inspector shall verify that deck postholes are 42" below grade before concrete is poured.
- 2) Inspector shall complete & approve a rough framing inspection before decking is applied
- 3) Permit holder shall schedule a final inspection.
 - a. Deck is not to be occupied until final inspection has been approved by local building inspector.
- 4) The applicant must notify the Village of Elwood when ready for inspection. All inspections require a minimum 48-hour business day notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, please contact Syreeta Slaphey at (815) 424-1091, or via email at syreeta.slaphey@villageofelwood.com.

Sincerely,

Ashleigh Spacht
Assistant Village Administrator

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ❖ PHONE (815) 424-1074 ❖ FAX (815) 423-6861

PERMIT NUMBER: 2017-04-07

ISSUE DATE: April 28, 2017

EXP. DATE: October 28, 2017

PROPERTY ADDRESS: 107 N. Chicago
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Construction of a new 22x30 garage structure

CONTRACTOR INFORMATION

Contractor Company: Danley's Garage

Main Contact: Sean Nichols

Phone Number: (847) 980-6939

REQUIRED INSPECTIONS

<input type="checkbox"/> Pre-Pour (concrete) Inspection		<input type="checkbox"/> Rough Electrical Inspection
<input type="checkbox"/> Rough Framing Inspection		<input type="checkbox"/> Final Building Inspection

APPROVAL SIGNATURE

Syreeta Slaphey, Permit Technician



April 28, 2017

107 N. Chicago
Elwood, IL 60421

Building Permit for Garage Installation – 107 N. Chicago Street

Permit Number: 2017-04-07

On April 28, 2017 permit application, plans and documentation were examined for the attached proposed project. Based on the review of the submitted documentation, no additional information is required to be submitted for review and authorization.

This letter serves as approval for garage installation at 107 N. Chicago as applied for. Upon payment of the permit and inspection fee, in the amount of \$463.00, the applicant will be issued a building permit which is required to be displayed throughout the time of construction. The permit is issued for a period of 6 months, and will expire on 10/28/2017. The following conditions apply to approval:

1. Required Inspections:

*The applicant must notify the Village of Elwood when the project is ready for inspection. All inspections require a **minimum 48-hour business day notice** for scheduling purposes.

- a. Pre-Pour (concrete) Inspection
- b. Rough Framing Inspection
- c. Rough Electrical Inspection
- d. Final Building Inspection

If you have any questions or comments regarding this permit, or approval conditions, please contact Syreeta Slappey, Permit Technician for the Village of Elwood at 815-424-1091 or via email at syreeta.slappey@villageofelwood.com.

Sincerely,

Ashleigh Spacht
Deputy Village Administrator

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 424-1074 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-04-06

ISSUE DATE: April 28, 2017

EXP. DATE: October 28, 2017

PROPERTY ADDRESS: 25233 S. Old Chicago
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Remove & Install Gutters & Downspouts

CONTRACTOR INFORMATION

Contractor Company: A.C. Home Construction Inc

Main Contact:

Phone Number: (630) 789-6532

REQUIRED INSPECTIONS

☐ Final Gutter & Downspout Inspection

APPROVAL SIGNATURE

Syreeta Slappey, Permit Technician



☐ Invoice ☐ Proposal ☐ Contract

A.C. HOME CONSTRUCTION INC.

Licensed Roofing Contractor

Off: 630-789-6532

Cell: 708-417-7833

Andrius Cepronas
President

We do Financing, Ask for Details

We Accept



PROPOSAL SUBMITTED TO	PHONE 815 557 9681	DATE 04/11/17
STREET 2533 S 1st Street	JOB NAME	
CITY, STATE AND ZIP CODE Elmwood IL	DATE OF PLANS 04/23/17	JOB LOCATION SAME
ARCHITECT	JOB PHONE	FAX PHONE

We hereby submit specifications and estimates for:

- 1 Tear off old shingles of entire house
- 2 Replace wood decking if needed
- 3 Install ice and water shield 3 feet from the gutters (2 feet inside the house from exterior wall)
- 4 Install 15 lb felt paper (2 Rows)
- 5 Install architectural shingle 30 years
- 6 Install new lead pipes and mushroom vents
7. Clean all debris
- 8 Labor warranty 10 years

The Proposer hereby to furnish material and labor - complete in accordance with above specifications, for the sum of:
 sixteen thousand three hundred eighty nine & 00/100 dollars (\$ 16,389)

Payment to be made as follows:

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delay beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized
Signature

Note: This proposal may be withdrawn by us if not accepted within

Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

SIGNATURE

SIGNATURE

DATE OF ACCEPTANCE

4/8/17

NOTICE

A certificate of occupancy and compliance must be issued prior to occupancy of all new structures, additions and for change of use.

	FEES		FEES
Building Plan review Fee	\$ 25	Capacity Expansion Fee	\$
Building Permit Fee	\$ 33	Water Meter fee	\$
Building Inspection Fee	\$ 55	Water Tap Fee	\$
Electrical Fee	\$	Sewer Tap Fee	\$
Plumbing Fee	\$	Other	\$
Sign Fee	\$	Other	\$
Certificate of Occupancy	\$	Bond	\$
Village Impact Fee	\$	Total Fee	\$
Park District impact Fee	\$	(minus deposit)	\$
Fire District impact Fee (paid)		BALANCE DUE	\$ 113
School Impact Fee (paid)			

A PERMIT FOR THIS WORK IS HEREBY AUTHORIZED

Building Official



Date

4-28-17



Village of Elwood

Established 1889

Proud of our past, Building our future.

Date Received by 2017

Com. Dev. Dept.

P.O. Box 435, Elwood, IL 60421

Tel: (815)423-5011 - Fax: (815)423-6861

Permit Number

Date Issued

APPLICATION FOR BUILDING PERMIT

OWNER

Job Address	25233 S Old Chicago
Name	
Address	25233 S Old Chicago
City/Zip	Elwood IL 60421
Telephone	815 551 9681 Fax
Project Description	SEAL of CRACK REPAIR

Lot

Block	Unit
Sub'd.	
Tax No.	
Zoning	
Valuation	Sq. Footage

The Village of Elwood requires all contractors and sub-contractors to register with the Village and pay the current registration fee and provide a certificate of insurance and bond requirements. Roofing and plumbing contractors are to provide a State of Illinois license. Electricians are to provide a license.

Architect	Address	Ph.	Fx.
General	Address	Ph.	Fx.
Excavator	Address	Ph.	Fx.
Concrete	Address	Ph.	Fx.
Carpenter	Address	Ph.	Fx.
Brick Mason	Address	Ph.	Fx.
Plumber	Address	Ph.	Fx.
Sewer & Water	Address	Ph.	Fx.
Electrician	Address	Ph.	Fx.
Heating	Address	Ph.	Fx.
Roofing	Address 906 SURREY LN	Ph. 708 417 7833	Fx. 224 357 8881
ACHOME CONSTRUCTION	BARRINGTON HILLS IL		
Insulator	Address	Ph.	Fx.
Asphalt	Address	Ph.	Fx.
Siding	Address	Ph.	Fx.
Other	Address	Ph.	Fx.
Other	Address	Ph.	Fx.

CONDITIONS OF PERMIT

In consideration of this application and attached forms being made a part thereof and the issuance of permit, I will conform to the regulations set forth in the Village of Elwood codes and ordinances.

I also agree that all work performed under said permit will be in accordance with the plans and specifications which accompany this application, except for such changes as may be authorized or required by the Building Official.

All inspections require a MINIMUM 48 hour notice.

Call 815-423-5011

Inspection required prior to placement of concrete.

Applicants required to notify J.U.L.I.E.

Call 1-800/892-0123 prior to digging.

Signature of Agent _____

Print Name _____

MISCELLANEOUS PLAN REVIEW

Municipality: Village of Elwood

Owner/Occupant: _____

Site address: 25233 S. Old Chicago

Applicants name: _____ Applicant's telephone: 815 557 9481

Type of review: _____

B & F Plan Review Project Number: _____

B & F Inspection number: _____

Municipal permit number: _____

Other dept./consultant approval: _____ ☐ N/A

☒ Comply

☐ Not comply

☐ Comply with notes

Comments: Fal Gutter's to Down Spouts.

Plan Reviewer: Mik Shy Date: 4-21-17

Fees: Plan Review: \$ 2500 Inspections: \$ _____



April 28, 2017

25233 S. Old Chicago
Elwood, IL 60421

Building Permit for Gutters & Downspouts – 25233 S. Old Chicago

Permit Number: 2017-04-06

On April 28, 2017, I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further concerns.

This letter serves as an approval for the installation of gutters & downspouts at 25233 S. Old Chicago. Upon payment of the permit fee of \$113.00, the resident will be issued a permit that is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 10/28/2017. The following conditions apply to permit approval:

- 1) The applicant will notify the Village of Elwood when the gutters & downspouts are ready for inspection so one can be scheduled. All inspections require a minimum 48-hour notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, I can be reached at (815) 424-1074, or via email at ashleigh.spacht@villageofelwood.com.

Sincerely,

Ashleigh Spacht

Director of Community & Organizational Development

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 424-1074 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-04-06

ISSUE DATE: April 28, 2017

EXP. DATE: October 28, 2017

PROPERTY ADDRESS: 25233 S. Old Chicago
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Remove & Install Gutters & Downspouts

CONTRACTOR INFORMATION

Contractor Company: A.C. Home Construction Inc

Main Contact:

Phone Number: (630) 789-6532

REQUIRED INSPECTIONS

☐ Final Gutter & Downspout Inspection

APPROVAL SIGNATURE

Syreeta Slaphey, Permit Technician



April 28, 2017

25233 S. Old Chicago
Elwood, IL 60421

Building Permit for Gutters & Downspouts – 25233 S. Old Chicago

Permit Number: 2017-04-06

On April 28, 2017, I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further concerns.

This letter serves as an approval for the installation of gutters & downspouts at 25233 S. Old Chicago. Upon payment of the permit fee of \$113.00, the resident will be issued a permit that is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 10/28/2017. The following conditions apply to permit approval:

- 1) The applicant will notify the Village of Elwood when the gutters & downspouts are ready for inspection so one can be scheduled. All inspections require a minimum 48-hour notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, I can be reached at (815) 424-1074, or via email at ashleigh.spacht@villageofelwood.com.

Sincerely,

A handwritten signature in cursive script that reads "Ashleigh Spacht".

Ashleigh Spacht

Director of Community & Organizational Development



SCALE 1" = 30'

BW = BACK OF WALK
TC = TOP OF CURB
TF = TOP OF FOUNDATION
GF = GARAGE FLOOR
E = EXISTING UNDISTURBED
P = PLAN/PROPOSED
M = MEASURED
R = RECORD

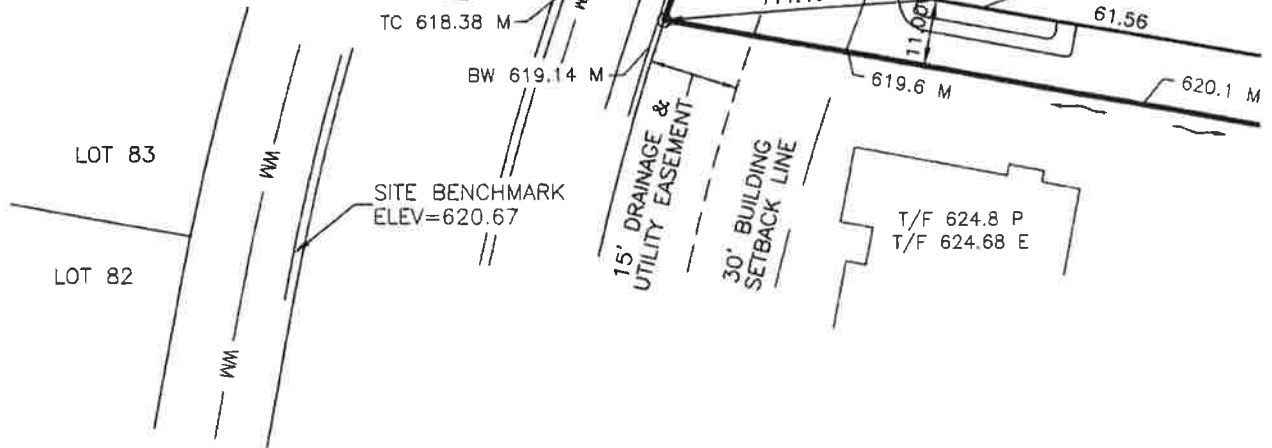
DRAINAGE FLOW

"O" INDICATES IRONS FOUND

"●" INDICATES 9/16" X 30" IRON ROD SET

BENCHMARK

SITE BENCHMARK: CUT CROSS IN TOP
OF CURB AT COMMON LOT CORNER OF
LOTS 82 & 83 (WEST SIDE OF WOODED
COVE DRIVE).
ELEVATION = 620.67



STATE OF ILLINOIS }
COUNTY OF WILL } ss

I, CHRISTOPHER M. PAPESH, A PROFESSIONAL LAND SURVEYOR
IN THE STATE OF ILLINOIS, DO HEREBY CERTIFY THAT I HAVE SURVEYED, STAKED,
LOCATED THE IMPROVEMENTS ON, AND PLATTED THE LAND DESCRIBED IN THE
FOREGOING CAPTION AND SHOWN ON THIS PLAT, AND THAT THIS PLAT IS A
CORRECT REPRESENTATION THEREOF, DATED AT CREST HILL, ILLINOIS THIS

13th DAY OF **September**, 2016, A.D.

Christopher M. Papesh
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3369
LICENSE EXPIRATION DATE 11/30/2016

NOTES:

1. ALL BEARINGS SHOWN ARE RECORD BE
2. FOR THIS DOCUMENT TO BE CONSIDERED
BE EMBOSSED OR AN INK STAMP IN THE
GEOTECH INCORPORATED PROFESSIONAL
3. ALL DIMENSIONS ARE IN FEET AND DEC
4. ALL BUILDING TIES AND DIMENSIONS ARE
5. FINAL GRADE SURVEY FIELD WORK COM
6. THE SUBDIVISION GRADING PLAN SHOWS
A MEETING BETWEEN MIKE VARMAN AND
03-17-2015; MAX WILL ALLOW THE T/I
ELEVATION ALONG THE SOUTH PROPERTY

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ❖ PHONE (815) 423-5011 ❖ FAX (815) 423-6861

PERMIT NUMBER: 2017-04-05

ISSUE DATE: April 26, 2017

EXP. DATE: October 26, 2017

PROPERTY ADDRESS: 21209 Wooded Cove Drive
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Deck Installation

CONTRACTOR INFORMATION

Contractor Company: Dean Hambry Carpentry

Main Contact: Dean Hambry

Phone Number: (630) 303-7947

REQUIRED INSPECTIONS

☐ Post-hole

☐ Rough Framing

☐ Final Inspection

APPROVAL SIGNATURE


Syreeta Slappey, Permit Technician

NOTICE

A certificate of occupancy and compliance must be issued prior to occupancy of all new structures, additions and for change of use.

	FEES		FEES
Building Plan review Fee	\$ 25	Capacity Expansion Fee	\$
Building Permit Fee	\$ 36	Water Meter fee	\$
Building Inspection Fee 3@ \$55	\$ 165	Water Tap Fee	\$
Electrical Fee	\$	Sewer Tap Fee	\$
Plumbing Fee	\$	Other	\$
Sign Fee	\$	Other	\$
Certificate of Occupancy	\$	Bond	\$
Village Impact Fee	\$	Total Fee	\$
Park District impact Fee	\$	(minus deposit)	\$
Fire District impact Fee (paid)		BALANCE DUE	\$ 226
School Impact Fee (paid)			

A PERMIT FOR THIS WORK IS HEREBY AUTHORIZED

Building Official



Date

4.26.17

4-20-17

Date Received by
Com. Dev. Dept.

Village of Elwood

Established 1889

Proud of our past. Building our future.

P.O. Box 435, Elwood, IL 60421

Tel: (815)423-5011 - Fax: (815)423-6861

2017 04.05

Permit Number

4-26-17

Date Issued

APPLICATION FOR BUILDING PERMIT

OWNER

Job Address	21209 SOUTH WOODED LAKE DR
Name	J
Address	21209 SOUTH WOODED LAKE DR.
City/Zip	ELWOOD
Telephone	815 693 4925 Fax
Project Description	DECK

Lot

Block

Unit

Sub'd.

Tax No.

Zoning

Valuation

Sq. Footage

The Village of Elwood requires all contractors and sub-contractors to register with the Village and pay the current registration fee and provide a certificate of insurance and bond requirements. Roofing and plumbing contractors are to provide a State of Illinois license. Electricians are to provide a license.

Architect	Address	Ph.	Fx.
General	DEAN HAMBRAY CARPENTRY	Address	914 DRAKE AVE JOLIET
Excavator	Address	Ph.	630 303 7947
Concrete	Address	Ph.	Fx.
Carpenter	Address	Ph.	Fx.
Brick Mason	Address	Ph.	Fx.
Plumber	Address	Ph.	Fx.
Sewer & Water	Address	Ph.	Fx.
Electrician	Address	Ph.	Fx.
Heating	Address	Ph.	Fx.
Roofing	Address	Ph.	Fx.
Insulator	Address	Ph.	Fx.
Asphalt	Address	Ph.	Fx.
Siding	Address	Ph.	Fx.
Other	Address	Ph.	Fx.
Other	Address	Ph.	Fx.

CONDITIONS OF PERMIT

In consideration of this application and attached forms being made a part thereof and the issuance of permit, I will conform to the regulations set forth in the Village of Elwood codes and ordinances.

I also agree that all work performed under said permit will be in accordance with the plans and specifications which accompany this application, except for such changes as may be authorized or required by the Building Official.

All inspections require a MINIMUM 48 hour notice.

Call 815-423-5011

Inspection required prior to placement of concrete.

Applicants required to notify J.U.L.I.E.

Call 1-800/892-0123 prior to digging.

Signature of Agent

Print Name

DEAN HAMBRAY

MISCELLANEOUS PLAN REVIEW

Municipality: Village of Elwood

Owner/Occupant: _____

Site address: 21209 Wooded Cove

Applicants name: Dean Harebury Carpentry Applicant's telephone: 430-303-1747

Type of review: Deck Installation

B & F Plan Review Project Number: _____

B & F Inspection number: _____

Municipal permit number: _____

Other dept./consultant approval: _____ ☐ N/A

Comply

Not comply

Comply with notes

Comments: Required inspections

1. post hole

2. Rough Framing

3. Final Deck

Plan Reviewer: Mike Sharp Date: 4-21-17

Fees: Plan Review: \$ 2500 Inspections: \$ _____

Sheet 1 of 1

April 26, 2017

1
21209 Wooded Cove Drive
Elwood, IL 60421

Building Permit for Deck Installation – 21209 Wooded Cove Drive

Permit Number: 2017-04-05

On April 26, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further engineering concerns.

This letter serves as an approval for the installation of a deck at 21209 Wooded Cove Drive. Upon payment of the permit fee in the amount of \$226.00, the resident will be issued a permit which is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 10/26/2017. The following conditions apply to permit approval:

- 1) The inspector shall verify that deck postholes are 42" below grade before concrete is poured.
- 2) Inspector shall complete & approve a rough framing inspection before decking is applied
- 3) Permit holder shall schedule a final inspection.
 - a. Deck is not to be occupied until final inspection has been approved by local building inspector.
- 4) The applicant must notify the Village of Elwood when ready for inspection. All inspections require a minimum 48-hour business day notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, please contact Syreeta Slaphey at (815) 424-1091, or via email at syreeta.slaphey@villageofelwood.com.

Sincerely,



Ashleigh Spacht
Assistant Village Administrator

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ❖ PHONE (815) 423-5011 ❖ FAX (815) 423-6861

PERMIT NUMBER: 2017-05-01

ISSUE DATE: May 1, 2017

EXP. DATE: November 1, 2017

PROPERTY ADDRESS: 900 Laurel Drive
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Deck Installation

CONTRACTOR INFORMATION

Contractor Company: Dean Hambry Carpentry

Main Contact: Dean Hambry

Phone Number: (630) 303-7947

REQUIRED INSPECTIONS

☐ Post-hole

☐ Rough Framing

☐ Final Inspection

APPROVAL SIGNATURE

Syreeta Slappey, Permit Technician



April 26, 2017

21209 Wooded Cove Drive
Elwood, IL 60421

Building Permit for Deck Installation – 21209 Wooded Cove Drive

Permit Number: 2017-04-05

On April 26, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further engineering concerns.

This letter serves as an approval for the installation of a deck at 21209 Wooded Cove Drive. Upon payment of the permit fee in the amount of \$226.00, the resident will be issued a permit which is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 10/26/2017. The following conditions apply to permit approval:

- 1) The inspector shall verify that deck postholes are 42" below grade before concrete is poured.
- 2) Inspector shall complete & approve a rough framing inspection before decking is applied
- 3) Permit holder shall schedule a final inspection.
 - a. Deck is not to be occupied until final inspection has been approved by local building inspector.
- 4) The applicant must notify the Village of Elwood when ready for inspection. All inspections require a minimum 48-hour business day notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, please contact Syreeta Slappey at (815) 424-1091, or via email at syreeta.slappey@villageofelwood.com.

Sincerely,

Ashleigh Spacht
Assistant Village Administrator

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 423-5011 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-04-05

ISSUE DATE: April 26, 2017

EXP. DATE: October 26, 2017

PROPERTY ADDRESS: 21209 Wooded Cove Drive
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Deck Installation

CONTRACTOR INFORMATION

Contractor Company: Dean Hambry Carpentry

Main Contact: Dean Hambry

Phone Number: (630) 303-7947

REQUIRED INSPECTIONS

☐ Post-hole

☐ Rough Framing

☐ Final Inspection

APPROVAL SIGNATURE

Syreeta Slappey, Permit Technician



April 24, 2017

117 Bayberry Drive
Elwood, IL 60421

Building Permit for Fence Removal/Replace – 117 Bayberry Drive
Permit Number: 2017-04-04

On April 24, 2017 permit application, plans and documentation were examined for the attached proposed project. Based on the review of the submitted documentation, no additional information is required to be submitted for review and authorization.

This letter serves as approval for fence repair at 117 Bayberry Drive as applied for. Upon payment of the permit and inspection fee, in the amount of \$147.00, the applicant will be issued a building permit which is required to be displayed throughout the time of construction. The permit is issued for a period of 6 months, and will expire on 10/24/2017. The following conditions apply to approval:

1. Required Inspections:

*The applicant must notify the Village of Elwood when the project is ready for each inspection. All inspections require a **minimum 48-hour business day notice** for scheduling purposes.

- a. Post Hole Inspection
- b. Final Building Inspection

If you have any questions or comments regarding this permit, or approval conditions, please contact the Village of Elwood.

Sincerely,

Ashleigh Spacht
Interim Deputy Village Administrator

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 424-1074 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-04-04

ISSUE DATE: April 24, 2017

EXP. DATE: October 24, 2017

PROPERTY ADDRESS: 117 Bayberry Drive
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Replace Existing Fence w/6 Foot Privacy Fence

CONTRACTOR INFORMATION

Contractor Company: AmeriDream Fence & Deck

Main Contact:

Phone Number: (815) 726-1127

REQUIRED INSPECTIONS

☐ Post Hole Inspection

☐ Final Inspection

APPROVAL SIGNATURE

Syreeta Slappey, Permit Technician

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 424-1074 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-04-03

ISSUE DATE: April 24, 2017

EXP. DATE: October 24, 2017

PROPERTY ADDRESS: 935 Meadowbrook
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Install a 24' round above ground swimming pool in the rear yard. A base of at least 3" will be dug out prior to the swimming pool installation. Location of the pool will not encroach on the 10' setbacks required per the zoning code.

CONTRACTOR INFORMATION

Contractor Company: Sundown, Inc

Main Contact: Roger

Phone Number: (630) 364-8501

REQUIRED INSPECTIONS

☐ Final Electrical Inspection

☐ Final Installation Inspection

APPROVAL SIGNATURE

Syreeta Slaphey, Permit Technician



April 25, 2017

t
935 Meadowbrook
Elwood, IL 60421

Building Permit for Installation of an Above Ground Swimming Pool – 935 Meadowbrook

Permit Number: 2017-04-03

On April 24, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further concerns in regards to the the above ground pool placement or installation.

This letter serves as an approval for above ground pool installation at 935 Meadowbrook. Upon payment of the permit fee in the amount of \$105.00, the applicant will be issued a permit which is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 10/24/2017. The following conditions apply to permit approval:

- 1) Construction and work shall be installed so that the pool installation will not interfere with drainage. All construction work shall be at an elevation relative to the foundation wall so that water will drain away from the structure on all sides and off the lot in a manner which will provide reasonable freedom from erosion and permanently pocketed surface water.
- 2) The applicant will notify the Village of Elwood when the pool installation is completed so final electrical and installation inspections can be scheduled. All inspections require a minimum two business day notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, I can be reached at (815) 424-1074, or via email at ashleigh.spacht@villageofelwood.com.

Sincerely,

Ashleigh Spacht
Director of Community & Organizational Development

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 423-5011 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-04-02

ISSUE DATE: April 6, 2017

EXP. DATE: October 6, 2017

PROPERTY ADDRESS: 137 E Bush
Elwood, IL 60421

PROPERTY OWNER: an

DESCRIPTION OF PERMITTED WORK

Installation of a fence.

CONTRACTOR INFORMATION

Contractor Company: CR Construction


Main Contact: Chris Delehanty

Phone Number: (815) 423-5347

REQUIRED INSPECTIONS

☐ Post Hole Inspection

APPROVAL SIGNATURE


Syreeta Slappey, Permit Technician

April 6, 2017

137 E Bush Drive
Elwood, IL 60421

Building Permit for Fence Installation – 137 E Bush Drive

Permit Number: 2017-04-02

On April 6, 2017, I processed permit application; plans and documentation were examined for the attached proposed project. Based on the review of the submitted documentation, no additional information is required to be submitted for review and authorization.

This letter serves as approval for fence installation at 137 E Bush Drive as applied for. Upon payment of the permit and inspection fee, in the amount of \$127.00, the applicant will be issued a building permit which is required to be displayed throughout the time of construction. The permit is issued for a period of 6 months, and will expire on 10/06/2017. The following conditions apply to approval:

1. Building Department Review Comments:

- a. The fence cannot be installed closer than 6" to the lot line without written consent from the neighboring property.
- b. If the fence is installed within an easement, the applicant is responsible for removing and replacing the structure in the event access is needed.

2. Required Inspections:

- a. Post Hole Inspection (Before Concrete Pour)

***The applicant must notify the Village of Elwood when the project is ready for each inspection. All inspections require a minimum 48-hour business day notice for scheduling purposes.**

If you have any questions or comments regarding this permit, or approval conditions, please contact the Village of Elwood.

Sincerely,

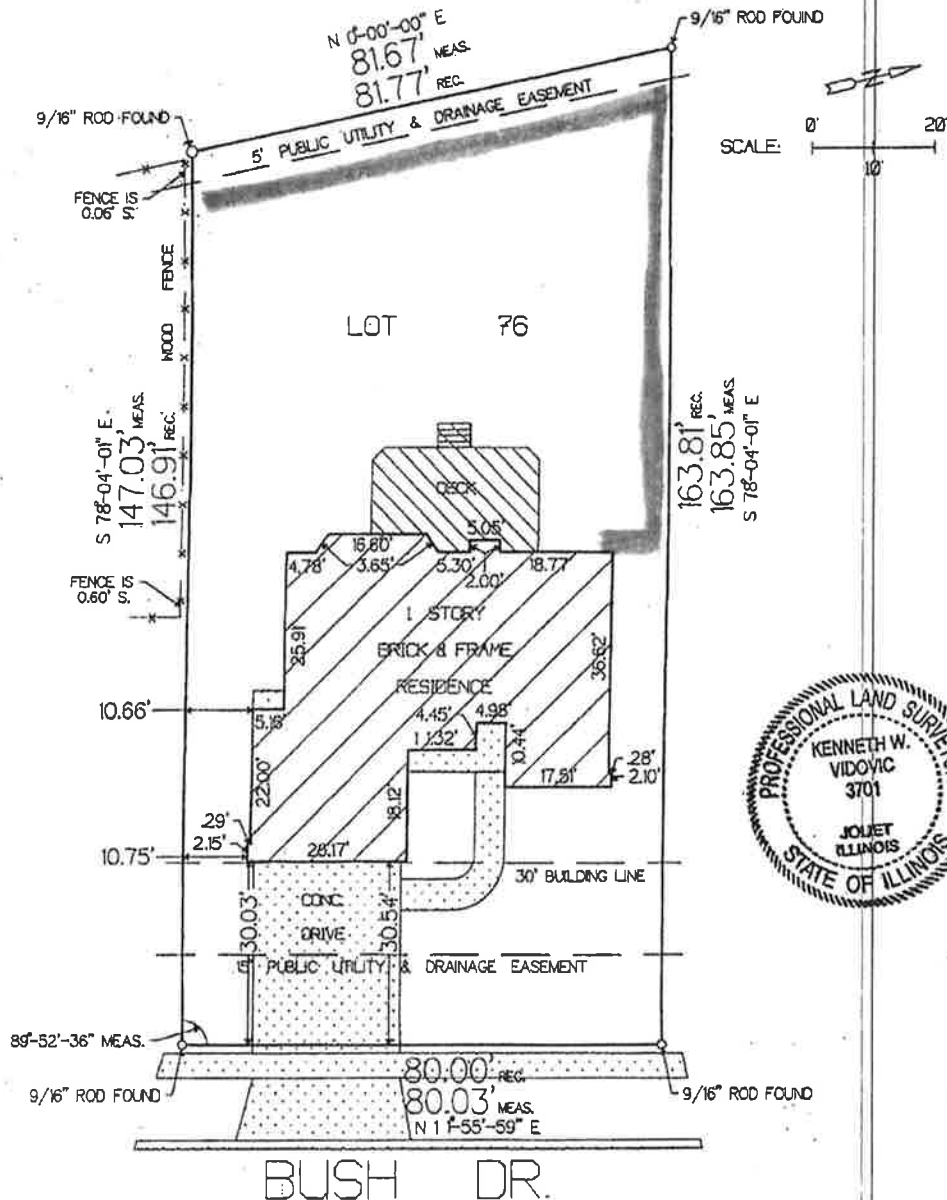


Ashleigh Spacht
Deputy Village Administrator

PLAT OF SURVEY

LOT 76, IN WOODLAND ACRES UNIT 5, A SUBDIVISION OF PART OF THE EAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 20, TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 11, 1995 AS DOCUMENT NO. R95-002477, IN WILL COUNTY, ILLINOIS.

137 E. BUSH DRIVE
ELWOOD, IL



COMMUNITY SURVEY INC.

68 N. CHICAGO STREET, SUITE 218
JOLIET, IL 60432

(815) 722-9005 (815) 722-9019 - fax

DESIGN FIRM NO. 134-002899

CHECK DEED OR GUARANTEE POLICY FOR BUILDING LINE OR EASEMENT RESTRICTIONS NOT SHOWN ON PLAT OF SURVEY. COMPARE POINTS BEFORE BUILDING.

WE, COMMUNITY SURVEY INC., DO HEREBY CERTIFY THAT WE HAVE SURVEYED FOR JOHN TRYNER UNDER MY HAND AND SEAL THIS 21ST DAY OF JANUARY 2015.

FIELD WORK 1/20/2015

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

SURVEY NUMBER 15-20673

ILLINOIS LAND SURVEYOR NO. 3701

EXPIRES 11/30/2016



PICKING LIST - GUEST COPY

218 CRHL
ber Road
Ill, IL 60403

PHONE: (815) 729-4414
FAX: (815) 729-4554

CASHIER - PRESS RECALL TRANS - CRHL 26231
AND SCAN BARCODE ==>



CASHIER:

PAGE 1 OF 1

PLEASE STAPLE
RECEIPT HERE.

SOLD BY: GEO P.
DATE: 03/21/17

GUEST NAME - ADDRESS - PHONE

Buchanan, John
137 Bush Dr
Elwood, IL 60421-9782

Ph: (708) 825-4161
JOB DESC:

QUANTITY	DESCRIPTION	SKU NUMBER	UNIT PRICE	EXTENDED PRICE
1 EACH	6'X42"BELMONT GATE GATE	172-8603	99.99	99.99
24 EACH	6'X8' WHT RICHMOND FENCE FENCE	172-8651	79.79	1,914.96
25 EACH	5"X5"X96"VINYL POST KIT VINYL POST KIT	172-8652	27.49	687.25
50 EACH	4000 PSI CONCRETE MIX 60 LB	189-1098	2.79	139.50

TO AVOID PRODUCT NOT BEING AVAILABLE ON A LATER DATE PLEASE PICK UP ALL MERCHANDISE TODAY. THANK YOU.

This is a quote valid today. Upon payment this quote becomes a yard picking list subject to the terms and conditions below. Quantities listed above may exceed quantities available for immediate pick-up. Product is not held for a specific guest, but instead is available to the buying public on a first come, first serve basis. Please pickup all rebases made on this picking list immediately. Failure to pick up products on this picking list today will result in additional charge to you if, on the day of pick up, the retail price of the products are higher than on the day purchased. Menards liability to you is limited to refunding your original purchase price for any product not picked up.

Best Instructions:

1. Take this picking list to a cashier to pay for the merchandise.
2. Enter the outside yard to pick up your merchandise. (All vehicles are subject to inspection.)
3. Load your merchandise. (Menards Team Members will gladly help you load your materials but cannot be held liable for damage to your vehicle.)
4. When exiting the yard, present this list to the Gate Guard. (The Gate Guard will record the items you are taking with you.)
5. Sign the Gate Guard's signature pad verifying you've received the merchandise.

PRE-TAX TOTAL: 2,841.70

Our insurance does not allow us to tie down or secure your load, trunk lid, etc. For your convenience, we supply twine, but you will have to decide whether or not your load is secure and if the twine supplied is strong enough. If you do not believe the twine will suffice, stronger material can be purchased inside the store.

READ THE TERMS AND CONDITIONS CAREFULLY. All returns are subject to Menards' posted return policy. In consideration for Menards low prices you agree that if any merchandise purchased by you is defective, Menards will agree to exchange the merchandise or refund the purchase price based on the form of original payment. We agree that there shall be no other remedy available to you. If there is a warranty provided by the manufacturer, that warranty shall govern your rights and Menards shall sell the product "AS IS." Oral statements do not constitute warranties, and are not a part of this contract. The guest agrees to inspect all merchandise prior to installing it. **UNDER NO CIRCUMSTANCES SHALL MENARDS BE LIABLE FOR ANY SPECIAL, INCIDENTAL, OR CONSEQUENTIAL DAMAGES.** MENARDS MAKES NO WARRANTIES, EXPRESS OR IMPLIED, AS TO MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE OF THE MERCHANDISE. Any controversy or claim arising out of or relating to this contract, or the breach thereof, shall be settled by arbitration administered by the American Arbitration Association under its applicable Consumer or Commercial Arbitration Rules, and judgments on the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof. The guest agrees to these terms and conditions through purchase of merchandise contained on this document.

THIS IS NOT A RECEIPT

GATE GUARD - SCAN HERE ==>



J. Buchanan

Fence Material
List

4"x4"x8' - (25)

Sakrete or
whatever you
buy - 60^{##} bags - (50)

Gate Hardware
Kits (2)

3" - Exterior
Hi-Grade Screws
Approx. 200

8' long Fence
Sections (24)



CR
Construction

Phone 815-423-5347

PO Box 5
Elwood, IL 60421

PROPOSAL

Chris Delehanty
Licensed and Insured
Free Estimates

PROPOSAL NO.

SHEET NO.

DATE 3-15-17

PROPOSAL SUBMITTED TO:

WORK TO BE PERFORMED AT:

NAME	ADDRESS
ADDRESS	CITY, STATE
CITY, STATE	DATE OF PLANS
PHONE NO.	ARCHITECT

We hereby propose to furnish the materials and perform the labor necessary for the completion of

Install Approx. 175 linear ft. of wooden fence.
Dig approx. 25 postholes @ \$75 per hole/section
Install 2 - bags per hole / Sakrete 60" at 2' deep.
Backfill around holes + remove remaining dirt from site.
Screw all fence sections together to posts.

Homeowner purchases all materials

Labor Only \$1875

All material is guaranteed to be as specified, and the above work to be performed in accordance with the drawings and specifications submitted for above work and completed in a substantial workmanlike manner for the sum of:

Dollars (\$1,875)

with payments to be as follows Cash - when complete.

Any alterations or deviation from above specifications involving extra costs will be executed only upon written order, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control.

Respectfully submitted

Per

Note - This proposal may be withdrawn by us if not accepted within 90 days.

ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are satisfactory, and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

SIGNATURE

DATE

SIGNATURE

5 Year warranty on workmanship

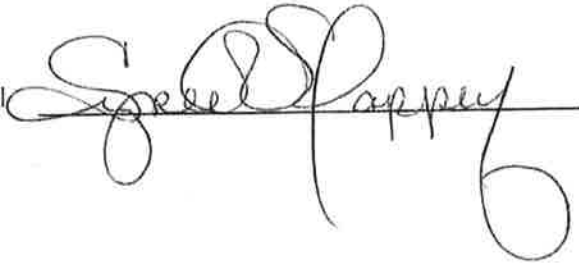
NOTICE

A certificate of occupancy and compliance must be issued prior to occupancy of all new structures, additions and for change of use.

	FEES		FEES
Building Plan review Fee	\$ 25	Capacity Expansion Fee	\$
Building Permit Fee	\$ 47	Water Meter fee	\$
Building Inspection Fee	\$ 55	Water Tap Fee	\$
Electrical Fee	\$	Sewer Tap Fee	\$
Plumbing Fee	\$	Other	\$
Sign Fee	\$	Other	\$
Certificate of Occupancy	\$	Bond	\$
Village Impact Fee	\$		Total Fee \$
Park District Impact Fee	\$		(minus deposit) \$
Fire District impact Fee (paid)			BALANCE DUE \$ 127
School Impact Fee (paid)			

A PERMIT FOR THIS WORK IS HEREBY AUTHORIZED

Building Official



Date

4-6-17

3-29-17 (878)

Date Received by
Com. Dev. Dept.



Village of Elwood
Established 1889

Proud of our past, Building our future.

P.O. Box 435, Elwood, IL 60421
Tel: (815)423-5011 - Fax: (815)423-6861

APPLICATION FOR BUILDING PERMIT

2017-04-01

Permit Number

4-6-17

Date Issued

OWNER

Job Address	177 Birch Dr Elwood
Name	
Address	137 E. Bush Dr.
City/Zip	Elwood 60421
Telephone	708-825-4161 Fax
Project Description	Fence Install

Lot	76
Block	Woodland Acres Unit 5
Sub'd	E. 1/2 of SW 1/4 of Section 20
Tax No.	295-002477
Zoning	
Valuation	Sq. Footage

The Village of Elwood requires all contractors and sub-contractors to register with the Village and pay the current registration fee and provide a certificate of insurance and bond requirements. Roofing and plumbing contractors are to provide a State of Illinois license. Electricians are to provide a license.

Architect	Address	Ph.	Fx.
General	Address	Ph.	Fx.
Excavator	Address	Ph.	Fx.
Concrete	Address	Ph.	Fx.
Carpenter	Address	Ph.	Fx.
Brick Mason	Address	Ph.	Fx.
Plumber	Address	Ph.	Fx.
Sewer & Water	Address	Ph.	Fx.
Electrician	Address	Ph.	Fx.
Heating	Address	Ph.	Fx.
Roofing	Address	Ph.	Fx.
Insulator	Address	Ph.	Fx.
Asphalt	Address	Ph.	Fx.
Siding	Address	Ph.	Fx.
Other	Address	Ph.	Fx.
Fence / CR Const.	70 Box 5 Elwood	815-423-5347	
Other	Address	Ph.	Fx.

CONDITIONS OF PERMIT

In consideration of this application and attached forms being made a part thereof and the issuance of permit, I will conform to the regulations set forth in the Village of Elwood codes and ordinances.

I also agree that all work performed under said permit will be in accordance with the plans and specifications which accompany this application, except for such changes as may be authorized or required by the Building Official.

All inspections require a MINIMUM 48 hour notice.
Call 815-423-5011
Inspection required prior to placement of concrete.
Applicants required to notify J.U.L.I.E.
Call 1-800/892-0123 prior to digging.

Signature of Agent

Print Name

Sign Here

12:30-1:00

MISCELLANEOUS PLAN REVIEW

Municipality: Village of Elwood

Owner/Occupant: _____

Site address: 137 E. Bush Drive

Applicants name: _____

Applicant's telephone: 708-825-4141

Type of review: Fence Installation

B & F Plan Review Project Number: _____

B & F Inspection number: 1349

Municipal permit number: _____

Other dept./consultant approval: _____ ☐ N/A

☒ Comply ☐ Not comply ☐ Comply with notes

Comments: 1. Schedule Fence post hole inspection before concrete pour.

Plan Reviewer: Mike Sharp Date: 3-31-17

Fees: Plan Review: \$ 2500 Inspections: \$ _____

Sheet 1 of 1

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 423-5011 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-04-02

ISSUE DATE: April 6, 2017

EXP. DATE: October 6, 2017

PROPERTY ADDRESS: 137 E Bush
Elwood, IL 60421

PROPERTY OWNER

DESCRIPTION OF PERMITTED WORK

Installation of a fence.

CONTRACTOR INFORMATION

Contractor Company: CR Construction

Main Contact: Chris Delehanty

Phone Number: (815) 423-5347

REQUIRED INSPECTIONS

☐ Post Hole Inspection

APPROVAL SIGNATURE

Syreeta Slappey, Permit Technician

April 6, 2017

137 E Bush Drive
Elwood, IL 60421

Building Permit for Fence Installation – 137 E Bush Drive

Permit Number: 2017-04-02

On April 6, 2017, I processed permit application; plans and documentation were examined for the attached proposed project. Based on the review of the submitted documentation, no additional information is required to be submitted for review and authorization.

This letter serves as approval for fence installation at 137 E Bush Drive as applied for. Upon payment of the permit and inspection fee, in the amount of \$127.00, the applicant will be issued a building permit which is required to be displayed throughout the time of construction. The permit is issued for a period of 6 months, and will expire on 10/06/2017. The following conditions apply to approval:

1. Building Department Review Comments:

- a. The fence cannot be installed closer than 6" to the lot line without written consent from the neighboring property.
- b. If the fence is installed within an easement, the applicant is responsible for removing and replacing the structure in the event access is needed.

2. Required Inspections:

- a. Post Hole Inspection (Before Concrete Pour)

*The applicant must notify the Village of Elwood when the project is ready for each inspection. All inspections require a **minimum 48-hour business day notice** for scheduling purposes.

If you have any questions or comments regarding this permit, or approval conditions, please contact the Village of Elwood.

Sincerely,



Ashleigh Spacht
Deputy Village Administrator

April 6, 2017

21359 Oxbow
Elwood, IL 60421

Building Permit for Bathroom Updates – 21359 Oxbow

Permit Number: 2017-04-01

On April 6, 2017, I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further engineering concerns on the construction drawings or trailer placement.

This letter serves as approval for the proposed bathroom updates at 21359 Oxbow as applied for. Upon payment of the permit fee in the amount of \$517.00, the applicant will be issued a permit which is required to be displayed throughout the time of construction. The building permit is issued for a period of 180 days, and will expire on 10/06/2017. The following conditions apply to permit approval:

- 1) Inspections Required:
 - a. Rough Inspections
 - i. Building
 - ii. Mechanical
 - iii. Electrical
 - iv. Plumbing
 - b. Final Inspections
 - i. Building
 - ii. Mechanical
 - iii. Electrical
 - iv. Plumbing

****Note:** 2015 IRC, 2014 NEC, 2014 Plumbing Code, IECC-2015 (Energy)

- 2) The applicant must notify the Village of Elwood when ready for inspection. All inspections require a minimum 48-hour business day notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, I can be reached at (815) 424-1074, or via email at ashleigh.spacht@villageofelwood.com.

Sincerely,



Director of Community & Organizational Development

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ❖ PHONE (815) 424-1074 ❖ FAX (815) 423-6861

PERMIT NUMBER: 2017-04-01

ISSUE DATE: April 6, 2017

EXP. DATE: October 6, 2017

PROPERTY ADDRESS: 21359 Oxbow

Elwood, IL 60421

PROPERTY OWNER: _____, _____

DESCRIPTION OF PERMITTED WORK

Bathroom updates; Remove & Replace tub, shower floor & vanity. Remove Drywall. Install new plumbing drains & electric opening for vanity add light over sink. Paint walls

CONTRACTOR INFORMATION

Contractor Company: Homes by Holmes

Main Contact: Bill Holmes

Phone Number: (815) 467-5788

REQUIRED INSPECTIONS

☐ Rough Framing

☐ Building Final

☐ Plumbing Rough

☐ Plumbing Final

☐ Electrical Rough

☐ Electrical Final

APPROVAL SIGNATURE _____

Syreeta Slapney, Permit Technician



June 30, 2017

904 Laurel Drive
Elwood, IL 60421

Building Permit for Installation Concrete Driveway Replacement – 904 Laurel Drive

Permit Number: 2017-06-12

On June 30, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further engineering concerns on the drawings of the concrete driveway replacement.

This letter serves as an approval for driveway replacement at 904 Laurel Drive. Upon payment of the permit fee in the amount of \$175.00, the applicant will be issued a permit which is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 12/30/2016. The following conditions apply to permit approval:

- 1) Required Inspections:
 - a. Concrete Pre-Pour
 - b. Final
- 2) The applicant will notify the Village of Elwood when the project is completed so an inspection can be scheduled. All inspections require a minimum 48-hour notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, please contact me at (815) 424-1091, or via email at syreeta.slappey@villageofelwood.com.

Sincerely,

Syreeta Slappey
Permit Technician

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ❖ PHONE (815) 423-5011 ❖ FAX (815) 423-6861

PERMIT NUMBER: 2017-06-12

ISSUE DATE: June 30, 2017

EXP. DATE: December 30, 2017

PROPERTY ADDRESS: 904 Laurel Lane
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Driveway Replacement

CONTRACTOR INFORMATION

Contractor Company: Homeowner

Main Contact:

Phone Number: (815) 378-8544

REQUIRED INSPECTIONS

☐ Concrete Pre-Pour

☐ Final Driveway

APPROVAL SIGNATURE

Syreeta Slaphey, Permit Technician

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ❖ PHONE (815) 423-5011 ❖ FAX (815) 423-6861

PERMIT NUMBER: 2017-06-11

ISSUE DATE: June 30, 2017

EXP. DATE: December 30, 2017

PROPERTY ADDRESS: 925 Cottonwood Drive
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Removal & Installation of a fence.

CONTRACTOR INFORMATION

Contractor Company: All Star Fence

Main Contact: John Lafemina

Phone Number: (708) 599-1805

REQUIRED INSPECTIONS

☐ Post Hole Inspection

☐ Final Fence

APPROVAL SIGNATURE

Syreeta Slappey, Permit Technician



June 30, 2017

925 Cottonwood Drive
Elwood, IL 60421

Building Permit for Fence Installation – 925 Cottonwood Drive

Permit Number: 2017-06-11

On June 30, 2017, I processed permit application; plans and documentation were examined for the attached proposed project. Based on the review of the submitted documentation, no additional information is required to be submitted for review and authorization.

This letter serves as approval for fence installation at 925 Cottonwood Drive as applied for. Upon payment of the permit and inspection fee, in the amount of \$185.00, the applicant will be issued a building permit which is required to be displayed throughout the time of construction. The permit is issued for a period of 6 months, and will expire on 12/30/2017. The following conditions apply to approval:

1. Building Department Review Comments:

- a. The fence cannot be installed closer than 6" to the lot line without written consent from the neighboring property.
- b. If the fence is installed within an easement, the applicant is responsible for removing and replacing the structure in the event access is needed.

2. Required Inspections:

- a. Post Hole Inspection (Before Concrete Pour)
- b. Final Fence

*The applicant must notify the Village of Elwood when the project is ready for each inspection. All inspections require a **minimum 48-hour business day notice** for scheduling purposes.

If you have any questions or comments regarding this permit, or approval conditions, please contact the Village of Elwood.

Sincerely,

Syreeta Slappey
Permit Technician



June 30, 2017

20142 Pockey Way
Elwood, IL 60421

Building Permit for Fence Installation – 20142 Pockey Way

Permit Number: 2017-06-10

On June 30, 2017, I processed permit application; plans and documentation were examined for the attached proposed project. Based on the review of the submitted documentation, no additional information is required to be submitted for review and authorization.

This letter serves as approval for fence installation at 20142 Pockey Way as applied for. Upon payment of the permit and inspection fee, in the amount of \$212.00, the applicant will be issued a building permit which is required to be displayed throughout the time of construction. The permit is issued for a period of 6 months, and will expire on 12/30/2017. The following conditions apply to approval:

1. Building Department Review Comments:

- a. The fence cannot be installed closer than 6" to the lot line without written consent from the neighboring property.
- b. If the fence is installed within an easement, the applicant is responsible for removing and replacing the structure in the event access is needed.

2. Required Inspections:

- a. Post Hole Inspection (Before Concrete Pour)
- b. Final Fence

***The applicant must notify the Village of Elwood when the project is ready for each inspection. All inspections require a minimum 48-hour business day notice for scheduling purposes.**

If you have any questions or comments regarding this permit, or approval conditions, please contact the Village of Elwood.

Sincerely,

Syreeta Slappey
Permit Technician

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ❖ PHONE (815) 423-5011 ❖ FAX (815) 423-6861

PERMIT NUMBER: 2017-06-10

ISSUE DATE: June 30, 2017

EXP. DATE: December 30, 2017

PROPERTY ADDRESS: 20142 Pockey Way
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Installation of a fence

CONTRACTOR INFORMATION

Contractor Company: R&J Ibarra Landscaping

Main Contact: Rafael Ibarra

Phone Number: (708) 932-7547

REQUIRED INSPECTIONS

☐ Post Hole Inspection

☐ Final Fence

APPROVAL SIGNATURE

Syreeta Slaphey, Permit Technician



June 26, 2017

1808 Swift Drive
Oak Brook, IL 60523

Building Permit for Clearwater Paper Office Build-Out – 26318 Walton Drive

Permit Number: 2017-06-09

On June 26, 2017, I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I require no additional information to be submitted for review.

This letter serves as approval for construction to begin on the office build-out project located at 26318 Walton Drive. Upon payment of the permit fee in the amount of \$7,633.18, the applicant will be issued a permit which is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months, and will expire on 12/26/2017. The following conditions apply to permit approval:

1. The applicant must notify the Village of Elwood when the project is ready for inspection. All inspections require a minimum 48-hour business day notice for scheduling purposes.
2. Required Inspections:

a. Underground Plumbing	e. Rough Plumbing	i. Final Electrical
b. Rough Building	f. Above Ceiling	j. Final Plumbing
c. Rough Electrical	g. Final Building	k. Final Energy
d. Rough Mechanical	h. Final Mechanical	

If you have any questions or comments regarding this permit, or approval conditions, I can be reached at (815) 423-5011, or via email at syreeta.slappey@villageofelwood.com.

Sincerely,

Syreeta Slappey
Permit Technician

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ❖ PHONE (815) 424-1074 ❖ FAX (815) 423-6861

PERMIT NUMBER: 2017-06-09

ISSUE DATE: June 26, 2017

EXP. DATE: December 26, 2017

PROPERTY ADDRESS: 26318 Walton Drive
Elwood, IL 60421

DESCRIPTION OF PERMITTED WORK

5,500 sq ft tenant office buildout

CONTRACTOR INFORMATION

Contractor Company: Morgan Harbour Construction

Contact Name: Jeremy Smith

Phone Number: (630) 514-6418

REQUIRED INSPECTIONS

<input type="checkbox"/> Underground Plumbing	<input type="checkbox"/> Final Building			
<input type="checkbox"/> Rough Building	<input type="checkbox"/> Final Mechanical			
<input type="checkbox"/> Rough Electrical	<input type="checkbox"/> Final Electrical			
<input type="checkbox"/> Rough Mechanical	<input type="checkbox"/> Final Plumbing			
<input type="checkbox"/> Rough Plumbing	<input type="checkbox"/> Final Energy			
<input type="checkbox"/> Above Ceiling				

APPROVAL SIGNATURE

Syreeta Slappey, Permit Technician

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 424-1091 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-06-08

ISSUE DATE: June 23, 2017

EXP. DATE: December 23, 2017

PROPERTY ADDRESS: 21705 W. Mississippi
Elwood, IL 60421

PROPERTY MANAGER:

DESCRIPTION OF PERMITTED WORK

Installation of pallet racking in the Cardinal Health facility.

CONTRACTOR INFORMATION

Contractor Company: Thornel

Main Contact: Cathi Eby

Phone Number: (630) 968-9911 ext 204

REQUIRED INSPECTIONS

☐ Final Building Inspection

APPROVAL SIGNATURE

Syreeta Slappey, Permit Technician



June 23, 2017

25 Northwest Point Blvd Ste 550
Elk Grove Village, IL 60007

Building Permit for Installation of Pallet Racking – 21705 W. Mississippi

Permit Number: 2017-06-08

On June 23, 2017 permit application, plans and documentation were examined for the attached proposed project. Based on the review of the submitted documentation, no additional information is required to be submitted for review and authorization.

This letter serves as approval for pallet racking installation at 21705 W. Mississippi as applied for. Upon payment of the permit and inspection fee, in the amount of \$15,000.00, the applicant will be issued a building permit which is required to be displayed throughout the time of construction. The permit is issued for a period of 6 months, and will expire on 12/23/2017. The following conditions apply to approval:

1. Fire Department Review Comments:

- a. The following items will need to be field verified and drawings submitted as required:
 - i. Location of horn strobe devices within rack aisles
 - ii. Locations of fire department connections
 - iii. Exit signs at ends of rack aisles

2. Required Inspections:

*The applicant must notify the Village of Elwood when the project is ready for inspection. All inspections require a **minimum 48-hour business day notice** for scheduling purposes.

- a. Final Building Inspection
 - i. One (1) as-build inspection has been included in permit fee. Each additional as-build inspections will require an additional payment of \$55.00 per inspection.

If you have any questions or comments regarding this permit, or approval conditions, please contact the Village of Elwood.

Sincerely,

Syreeta Slappey
Permit Technician

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 423-5011 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-06-07

ISSUE DATE: June 5, 2017

EXP. DATE: December 5, 2017

PROPERTY ADDRESS: 905 Cottonwood Drive
Elwood, IL 60421

PROPERTY OWNER: [Signature]

DESCRIPTION OF PERMITTED WORK

Cosmetic Upgrades - Paint, Carpet, Lights, Appliances, Finish Basement,
RegROUT Kitchen Tiles, Raise Back Patio, Remove Debris

CONTRACTOR INFORMATION

Contractor Company: Small Job Home Pros

Main Contact: Robert Kotschi

Phone Number: (815) 405-7900

REQUIRED INSPECTIONS

☐ Rough Electrical

☐ Final Building

☐ Rough Framing

☐ Final Electrical

☐ Above Ceiling (Remove Ceiling Tiles)

☐ Final Mechanical

☐ Rough Mechanical

☐ Final Plumbing

APPROVAL SIGNATURE

Syreea Slappey
Syreea Slappey, Permit Technician



Quality Assurance - REA Scope of Work Validation

Project Address: 905 COTTONWOOD DRIVE, ELWOOD, IL, 6042
KCC Reference Number: 582142

Date Thursday, May 25, 2017

Contractor: GSJ/Brek Construction Services Inc
24131 W Hummingbird Dr
Cannahon, IL 60410

Robert Kotschi
KCC # 5929

Seq	Scope of Work - DESCRIPTION	Qty	Work Completed
68	Ceiling tiles in basement replace -	8	
69	Concrete raise rear pad. Slopes to house -	1	
70	Restore mailbox -	1	
71	Dumpster 20 yard -	1	
72	Permits -	1	
73	minor mold remediation as necessary during permitting process -	1	
SOW Type: <u>Quality Assurance</u>			28,000.00

KCC - PROJECT COORDINATOR

Gregory Dozal

KCC - CONTACT PHONE

714 - 352-2017 Ext: 12017

KCC - CONTACT E-MAIL

gdozal@kondaur.com

Realtor Signature _____

Special Notes / Quality Issues (List Seq #): _____

Other "Added Scope" Items that need to be Reviewed: _____



Quality Assurance - REA Scope of Work Validation

Project Address: 905 COTTONWOOD DRIVE, ELWOOD, IL, 6042
KCC Reference Number: 582142

Date Thursday, May 25, 2017

Contractor: GSJ/Brek Construction Services Inc
24131 W Hummingbird Dr
Cannahon, IL 60410

Robert Katschi
KCC # 5929

Seq	Scope of Work - DESCRIPTION	Qty	Work Completed
1	EXTERIOR -	1	
2	EXTERIOR PAINT - repaint exterior wood surfaces.	1	
3	POWER WASH EXTERIOR - powerwash entire exterior throughout	1	
4	EXTERIOR TRIM / SIDING/FASCIA/SOFFITS - repair/replace vinyl siding as necessary.	1	
5	ROOF - Provide 2 year roofing cert; (OPTION: Provide replacement roofing cost here \$0.00)	1	
6	WINDOWS - replace missing/broken windows; provide count	1	
7	SCREENS - replace missing /torn screens; provide count	1	
8	LANDSCAPE - trim all bushes/trees away from structure; install sod in front yard; provide lawn care during duration of project.	1	
9	OUTSIDE TRASH REMOVAL. NEEDED - remove all trash and debris.	1	
10	GUTTERS/DOWNSPOUTS - reattach/replace missing/damaged rain gutters throughout; clean gutters as necessary, extend down spouts away from home.	1	
11	INTERIOR -	1	
12	PAINT THROUGHOUT ENTIRE HOUSE - paint entire interior throughout per spec provided below.	172	
13	CARPET FLOORING - install carpet in like areas (wall to wall) per spec provided below	1	
14	DRYWALL REPAIRS - Repair all holes in ceiling and walls surfaces throughout; Remove all wallpaper throughout; patch, sand prep for paint	1	
15	INTERIOR DOORS / HARDWARE - replace missing/broken doors to match the existing unit in the house/ (OPTION) doorsreplace all interior doors with 6 panel hollow core (home depot Textured 6-Panel Primed Composite Molded Bored Interior Door Slab Model # THDJW	1	
16	WINDOW COVERINGS - install 1" horizontal blinds on all windows throughout; white finish (provide count); install 3.5" vertical blinds on sliding doors white finish. (provide count); all blinds to be entry level, contractor grade	12	
17	KITCHEN: (Dimensions) -	1	
18	SPECIFY TYPE OF FLOORING HERE - regorut and seal tile flooring	320	
19	RANGE/COOK TOP/OVEN - install new entry level stainless steel range (spec to be 5.3 cu. ft. Electric Range with Self-Cleaning Oven in Stainless Steel BRAND: Frigidaire Model #FFE3018LM / Gas spec to be 5.0 cu. ft. Gas Range with Self-Cleaning Oven in Stai	1	
20	VENT HOOD/MICROWAVE - replace with new entry level stainless unit "wall mount" over stove top, connect vent to existing exhaust ducting. If none present configure unit to vent back into kitchen area. Connect electrical as necessary for proper operation.	1	
21	DISHWASHER - install new entry level stainless unit, connect to existing electrical, connect drain line to countertop mounted "air gap vent", replace existing ridged water line with flex braided stainless steel hosing.	1	
22	COUNTERTOPS - remove existing counter tops, install new formica (granite like finish); provide linear ft	1	
23	FAUCET & SINK - install new stainless steel sink, entry level (4 hole), install air gap for dishwasher, brushed nickel finish; install new sink faucet, single handle, brushed nickel finish	1	
24	FAMILY ROOM: (Dimensions) -	1	
25	LIGHTING - install new flush mount dome brushed nickel finish (home depot brushed Nickel Flush Mount Model # EFG8012A-BN or similar) if existing wiring allows	1	
26	DINING ROOM: (Dimensions) -	1	
27	LIGHTING - install new flush mount dome brushed nickel finish (home depot brushed Nickel Flush Mount Model # EFG8012A-BN or similar) if existing wiring allows	1	
28	MASTER BATH 1: (Dimensions) -	1	
29	SPECIFY TYPE OF FLOORING - regorut and seal tile flooring	32	
30	PAINT/WALLS/CEILING/BASE/CASING/DOORS - provide cost on line 46	1	
31	MEDICINE CABINET - install medicine cabinet, white finish, mirrored door	1	
32	LIGHTING - install new brushed nickel bath bar light (home depot Model # HB2051-35 or similar) NOTE: light bar to match width of vanity if possible.	1	



Quality Assurance - REA Scope of Work Validation

Project Address: 905 COTTONWOOD DRIVE, ELWOOD, IL, 6042
KCC Reference Number: 582142

Date Thursday, May 25, 2017

Contractor: GSJ/Brek Construction Services Inc
24131 W Hummingbird Dr
Cannahan, IL 60410

Robert Kotschi
KCC # 5929

Seq	Scope of Work - DESCRIPTION	Qty	Work Completed
33	TOILET & SEAT - replace toilet seat	1	
34	TOWEL RACK - Replace w/ 3 piece brushed nickel bath accessory kit.	1	
35	BATH 2: (Dimensions) -	1	
36	LIGHTING - install new brushed nickel bath bar light (home depot Model # HB2051-35 or similar) NOTE: light bar to match width of vanity if possible.	1	
37	TOILET & SEAT - replace toilet seat	1	
38	TOWEL RACK - Replace w/ 3 piece brushed nickel bath accessory kit.	1	
39	SPECIFY TYPE OF FLOORING - regrout and seal tile flooring	1	
40	PAINT/WALLS/CEILING/BASE/CASING/DOORS - provide cost on line 4b	1	
41	MEDICINE CABINET - install medicine cabinet, white finish, mirrored door	1	
42	LIGHTING - install new brushed nickel bath bar light (home depot Model # HB2051-35 or similar) NOTE: light bar to match width of vanity if possible.	1	
43	TOILET & SEAT - replace toilet seat	1	
44	TOWEL RACK - Replace w/ 3 piece brushed nickel bath accessory kit.	1	
45	MASTER BEDROOM: (Dimensions) -	1	
46	LIGHTING - install new flush mount dome brushed nickel finish (home depot brushed Nickel Flush Mount Model # EFG8012A-BN or similar) if existing wiring allows	1	
47	BEDROOM 2: (Dimensions) -	1	
48	LIGHTING - install new flush mount dome brushed nickel finish (home depot brushed Nickel Flush Mount Model # EFG8012A-BN or similar) if existing wiring allows	1	
49	BEDROOM 3: (Dimensions) -	1	
50	LIGHTING - install new flush mount dome brushed nickel finish (home depot brushed Nickel Flush Mount Model # EFG8012A-BN or similar) if existing wiring allows	1	
51	HALLWAYS, COMMON AREAS, OTHER: (Dimensions) -	1	
52	LIGHTING - install new flush mount dome brushed nickel finish (home depot brushed Nickel Flush Mount Model # EFG8012A-BN or similar) if existing wiring allows	2	
53	LAUNDRY: (Dimensions) -	1	
54	LIGHTING - install new flush mount dome brushed nickel finish (home depot brushed Nickel Flush Mount Model # EFG8012A-BN or similar) if existing wiring allows	2	
55	GARAGE: (Dimensions) -	1	
56	CONCRETE FLOOR/SLAB - pressure wash garage floor	1	
57	BASEMENT:(Dimensions) - basment not permitted recommended demo sec line 245	1	
58	PAINT/WALLS/CEILING/BASE/CASING/DOORS - Add framing to exterior walls, remove and reinstall ceiling tiles, demo all romex wiring and illegal outlets, demo closet in illegal bedroom, reinsulate exterior wall. Install drywall to framing, tap and embed 2 co	1	
59	MISCELLANEOUS: -	1	
60	HVAC - HEATING - Power ON and advise if heat is in working order - bid repairs, if applicable and provide description (Allowance bid to inspection quote minor repairs)	1	
61	SMOKE DETECTORS/ CARBON MONOXIDE ALARMS - Inspect through-out. Replace yellowed and /or missing per code (provide count of smokes / carbons)	6	
62	OUTLETS AND SWITCHES - Replace any dated, damaged, painted and/or mismatched outlet and outlet cover, switch and switch covers, throughout. Color to be all white outlet, switch and cover plates throughout the entire home	35	
63	PLUMBING - spec plumbing for repairs; provide cost per break (up to 10 breaks) OPTION: provide cost to repipe house here \$0.00)	1	
64	ELECTRICAL - Make sure GFI's are installed at kitchen, bath and laundry if sink basin is present	1	
65	DEEP SALES CLEAN - *See attached Sale Clean Checklist	1	
66	LIGHT BULBS THROUGHOUT - Replace missing / unmatched (standard 60 Watt)	1	
67	ADDITIONAL RECOMMENDED REPAIRS BY CONTRACTOR -	1	

NOTICE

A certificate of occupancy and compliance must be issued prior to occupancy of all new structures, additions and for change of use

	FEE\$		FEE\$
Building Plan review Fee	75	Capacity Expansion Fee	
Building Permit Fee	280	Water Meter fee	
Building Inspection Fee 8(55)	440	Water Tap Fee	
Electrical Fee		Sewer Tap Fee	
Plumbing Fee		Other	
Sign Fee		Other	
Certificate of Occupancy		Bond	
Village Impact Fee		Total Fee	
Park District impact Fee		(minus deposit)	
Fire District impact Fee (paid)		BALANCE DUE	1795 ⁰⁰
School Impact Fee (paid)			

A PERMIT FOR THIS WORK IS HEREBY AUTHORIZED

Building Official

James D. Fappay

Date

4.5.17

6-2-17 (SAR)

Date Received by
Com. Dev. Dept.



Village of Elwood
Created by Act
Council of Elwood, Illinois

P.O. Box 435, Elwood, IL 60421
Tel: (815)423-5011 - Fax: (815)423-6861

2017-04-07

Permit Number

6-5-17

Date Issued

APPLICATION FOR BUILDING PERMIT

OWNER

Job Address	YES CONTINUATION	Lot	
Name		Block	Unit
Address	333 ANITA DR.	Sub d.	
City/Zip	ORANGE 92308	Tax No.	
Telephone		Zoning	
Fax		Valuation	28,000 Sq. Footage
Project Description: COSMETIC UPGRADES - PAINT, CARPET, LIGHTS, APPLIANCES, FINISH FLOORING, REGROUT KIT FLES, RAISE BACK PATIO, REMOVE DEBRIS			

The Village of Elwood requires all contractors and sub-contractors to register with the Village and pay the current registration fee and provide a certificate of insurance and bond requirements. Roofing and plumbing contractors are to provide a State of Illinois license. Electricians are to provide a license.

Architect	Address	Ph.	Fx.
General	Address	Ph.	Fx.
Excavator	Address	Ph.	Fx.
Concrete	Address	Ph.	Fx.
Carpenter	Address	Ph.	Fx.
Brick Mason	Address	Ph.	Fx.
Plumber	Address	Ph.	Fx.
Sewer & Water	Address	Ph.	Fx.
Electrician	Address	Ph.	Fx.
Heating	Address	Ph.	Fx.
Roofing	Address	Ph.	Fx.
Insulator	Address	Ph.	Fx.
Asphalt	Address	Ph.	Fx.
Siding	Address	Ph.	Fx.
Other	Address	Ph.	Fx.

CONDITIONS OF PERMIT

In consideration of this application and attached forms being made a part thereof and the issuance of permit, I will conform to the regulations set forth in the Village of Elwood codes and ordinances.

I also agree that all work performed under said permit will be in accordance with the plans and specifications which accompany this application, except for such changes as may be authorized or required by the Building Official.

All inspections require a MINIMUM 48 hour notice.

Call 815-423-5011

Inspection required prior to placement of concrete.

Applicants required to notify J.U.L.E.

Call 1-800/892-0123 prior to digging.

Signature of Agent

Print Name

Sign Here

June 5, 2017

333 Anita Drive
Orange, CA 92868

Building Permit for Cosmetic Upgrades – 905 Cottonwood Drive

Permit Number: 2017-06-07

On June 5, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further concerns.

This letter serves as an approval for the Cosmetic Upgrades at 905 Cottonwood Drive. Upon payment of the permit fee in the amount of \$795.00, the resident will be issued a permit which is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 12/05/2017. The following conditions apply to permit approval:

1) The following inspections are required:

- | | |
|---|---------------------|
| a. Rough Electrical | e. Final Building |
| b. Rough Framing | f. Final Electrical |
| c. Above Ceiling (remove ceiling tiles) | g. Final Mechanical |
| d. Rough Mechanical | h. Final Plumbing |

2) The applicant must notify the Village of Elwood when ready for inspection. All inspections require a minimum 48-hour business day notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, I can be reached at (815) 424-1091, or via email at syreeta.slappey@villageofelwood.com.

Sincerely,



Syreeta Slappey
Permit Technician

MISCELLANEOUS PLAN REVIEW

Municipality: City of Elwood

Owner/Occupant: James E. ...

Site address: 905 Cottonwood

Applicants name: ... Applicant's telephone: 815 405 7900

Type of review: Cosmetic Home Updates

B & F Plan Review Project Number: ...

B & F Inspection number: 1349

Municipal permit number: ...

Other dept./consultant approval: ... ☐ N/A

Comply

Not comply

Comply with notes

Comments: ...

1. Schedule Rough Electrical inspection when all locations are completed.

2. Rough Framing for Basement

3. Able ceiling in Basement. Remove Ceiling Tiles

4. Rough mechanicals / Final Mechanicals
Final 5

1. Final Building

2. Final Electrical

3. Final Mechanical

4. Final Plumbing

Plan Reviewer: Mike Sharp Date: 6-5-17

Fees: Plan Review: \$ 7500 Inspections: \$...



June 5, 2017

333 Anita Drive
Orange, CA 92868

Building Permit for Cosmetic Upgrades – 905 Cottonwood Drive

Permit Number: 2017-06-07

On June 5, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further concerns.

This letter serves as an approval for the Cosmetic Upgrades at 905 Cottonwood Drive. Upon payment of the permit fee in the amount of \$795.00, the resident will be issued a permit which is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 12/05/2017. The following conditions apply to permit approval:

1) The following inspections are required:

- | | |
|---|---------------------|
| a. Rough Electrical | e. Final Building |
| b. Rough Framing | f. Final Electrical |
| c. Above Ceiling (remove ceiling tiles) | g. Final Mechanical |
| d. Rough Mechanical | h. Final Plumbing |

2) The applicant must notify the Village of Elwood when ready for inspection. All inspections require a minimum 48-hour business day notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, I can be reached at (815) 424-1091, or via email at syreeta.slappay@villageofelwood.com.

Sincerely,

Syreeta Slappey
Permit Technician

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 423-5011 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-06-07

ISSUE DATE: June 5, 2017

EXP. DATE: December 5, 2017

PROPERTY ADDRESS: 905 Cottonwood Drive
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Cosmetic Upgrades - Paint, Carpet, Lights, Appliances, Finish Basement,
RegROUT Kitchen Tiles, Raise Back Patio, Remove Debris

CONTRACTOR INFORMATION

Contractor Company: Small Job Home Pros

Main Contact: Robert Kotschi

Phone Number: (815) 405-7900

REQUIRED INSPECTIONS

- | | |
|---|---|
| <input type="checkbox"/> Rough Electrical | <input type="checkbox"/> Final Building |
| <input type="checkbox"/> Rough Framing | <input type="checkbox"/> Final Electrical |
| <input type="checkbox"/> Above Ceiling (Remove Ceiling Tiles) | <input type="checkbox"/> Final Mechanical |
| <input type="checkbox"/> Rough Mechanical | <input type="checkbox"/> Final Plumbing |

APPROVAL SIGNATURE

Syreeta Slaphey, Permit Technician

2420 Vantage Drive
 Elgin, IL 60124
 (847) 428-7010

195907
INSPECTION REPORT
ELwood
 (Municipality)

Contractor/Owner:		Date:	6/7/17
Address:	309 MISSISSIPPI	Permit No.:	2017-06-06
Location:		Project Code No.:	
Time:	(Building)	(Mechanical)	(Electrical)
		(Plumbing)	(Other)

- | | | | |
|--|---|---|--|
| <input type="checkbox"/> Footing | <input type="checkbox"/> Insulation | <input type="checkbox"/> Concrete Pour | <input type="checkbox"/> Building |
| <input type="checkbox"/> Foundation | <input type="checkbox"/> Electric Service | <input type="checkbox"/> Fire Alarm | <input type="checkbox"/> Mechanical |
| <input type="checkbox"/> Foundation Backfill | <input type="checkbox"/> Zoning | <input type="checkbox"/> Fire Suppression | <input type="checkbox"/> Electrical |
| <input type="checkbox"/> Other: | | | <input checked="" type="checkbox"/> Plumbing |

- | | | | |
|---|---|---------------------------------------|--|
| <input checked="" type="checkbox"/> Underground | <input checked="" type="checkbox"/> Rough | <input type="checkbox"/> Final | <input type="checkbox"/> Re-Inspection |
| <input type="checkbox"/> 1 & 2 Family | <input checked="" type="checkbox"/> Commercial/Industrial | <input type="checkbox"/> Multi-Family | <input type="checkbox"/> Mobile Home |

Inspection Comments:

APR

UNDERGROUND APR

- ☐ Re-Inspection Required ☐ Approved As Noted

☒ Approved

Received By:

(Signature)

Inspector:

(Signature)

Printed Name:

Printed Name:

NOTIFIED:

☐ Owner

☒ Contractor

☐ Applicant

☐ Agent

BY:

☐ Mail

☐ Fax

☐ Inspection Report Posted

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 423-5011 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-06-06

ISSUE DATE: June 6, 2017

EXP. DATE: December 6, 2017

PROPERTY ADDRESS: 309 W. Mississippi
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Complete Renovation/Remodel Of The Existing Fire Station

CONTRACTOR INFORMATION

Contractor Company: Carlson Construction Company


Main Contact: Joe Desimone

Phone Number: (815) 538-3085

REQUIRED INSPECTIONS

<input type="checkbox"/> Underground Plumbing		<input type="checkbox"/> Above Ceiling
<input type="checkbox"/> Rough Building		<input type="checkbox"/> Final Building
<input type="checkbox"/> Rough Electrical		<input type="checkbox"/> Final Mechanical
<input type="checkbox"/> Rough Mechanical		<input type="checkbox"/> Final Electrical
<input type="checkbox"/> Rough Plumbing		<input type="checkbox"/> Final Plumbing

APPROVAL SIGNATURE


Syreeta Slappey, Permit Technician

Fire Station #2 - Renovation
Project Number: 1115799
Building Plan Review No. 1
February 14, 2017

Type of Inspections:

Underground plumbing
Building Rough
Electrical Rough
Mechanical Rough
Plumbing Rough
Above Ceiling
Building Final
Mechanical Final
Electrical Final
Plumbing Final

OFFICE & SHIPPING:
2420 Vantage Drive
CORRESPONDENCE:
P.O. Box 5178
ELGIN, IL 60121-5178

BF CONSTRUCTION CODE SERVICES, INC.
BUILDING & FIRE PROTECTION PLAN REVIEW
TRAINING • INSPECTIONS • CODE CONSULTING

PHONE (847) 428-7010
FAX (847) 428-3151
TOLL FREE 1-800-232-5523
E-MAIL bfccs@bfccs.org

April 14, 2017

Ms. Ashleigh Spacht
Village of Elwood
401 E. Mississippi Avenue
Elwood, IL 60421

RE: **Fire Station #2 – Renovation**
309 W. Mississippi, Elwood, IL
Project No. 1115799

Dear Ms. Spacht:

The plans and/or documents submitted were reviewed for compliance based on the codes and ordinances adopted by your municipality as listed on the previous plan review(s).

These plans **COMPLY** with the applicable code(s) for:

PLUMBING PLAN REVIEW NO. 2

based on the information received and the comments on the following page(s).

This review is limited to a review of the information submitted and no responsibility is implied or accepted for results of construction. Failure to identify a code violation does not relieve the owner of the obligation to compliance. Final construction and installations must be in conformance with the code.

Only authority having jurisdiction may grant approval for permit issuance.

Sincerely,



Seth Sommer
Director of Quality Control and Staff Development

Report Processed By: ak

Service With Integrity

Member
ICC NFA IFIA IACET

OFFICE & SHIPPING:
2420 Vantage Drive
CORRESPONDENCE:
P.O. BOX 5178
ELGIN, IL 60121-5178

BF CONSTRUCTION CODE SERVICES, INC.
BUILDING & FIRE PROTECTION PLAN REVIEW
TRAINING • INSPECTIONS • CODE CONSULTING

PHONE (847) 428-7010
FAX (847) 428-3151
TOLL FREE 1-800-232-5523
E-MAIL bfccs@bfccs.org

April 27, 2017

Ms. Ashleigh Spacht
Village of Elwood
401 E. Mississippi Avenue
Elwood, IL 60421

RE: **Fire Station #2 - Renovation**
309 West Mississippi, Elwood, IL
Project No. 1115799

Dear Ms. Spacht:

The plans and/or documents submitted were reviewed for compliance based on the codes and ordinances adopted by your municipality as listed on the previous plan review(s).

These plans **COMPLY** with the applicable code(s) for:

MECHANICAL PLAN REVIEW NO. 3

This review is limited to a review of the information submitted and no responsibility is implied or accepted for results of construction. Failure to identify a code violation does not relieve the owner of the obligation to compliance. Final construction and installations must be in conformance with the code.

Only authority having jurisdiction may grant approval for permit issuance.

Sincerely,



Seth Sommer
Director of Quality Control and Staff Development

Report Processed By: ak

Service With Integrity

Member
ICC NFPA IFIA IACET

OFFICE & SHIPPING:
2420 Vantage Drive
CORRESPONDENCE:
P.O. BOX 5178
ELGIN, IL 60121-5178

BF CONSTRUCTION CODE SERVICES, INC.
BUILDING & FIRE PROTECTION PLAN REVIEW
TRAINING • INSPECTIONS • CODE CONSULTING

PHONE (847) 428-7010
FAX (847) 428-3151
TOLL FREE 1-800-232-5523
E-MAIL bfees@bfees.org

February 22, 2017

Ms. Ashleigh Spacht
Village of Elwood
401 E. Mississippi Avenue
Elwood, IL 60421

**RE: Fire Station #2 - Renovation
309 West Mississippi, Elwood, IL
Project No. 1115799**

Dear Ms. Spacht:

The plans and/or documents submitted were reviewed for compliance based on the codes and ordinances adopted by your municipality as listed on the previous plan review(s).

These plans **COMPLY** with the applicable code(s) for:

ENERGY PLAN REVIEW NO. 1

This review is limited to a review of the information submitted and no responsibility is implied or accepted for results of construction. Failure to identify a code violation does not relieve the owner of the obligation to compliance. Final construction and installations must be in conformance with the code.

Only authority having jurisdiction may grant approval for permit issuance.

Sincerely,



Seth Sommer
Director of Quality Control and Staff Development

Report Processed By: ak

Service With Integrity

Member
ICC NFPA IFIA IACET

OFFICE & SHIPPING:
2420 Vantage Drive
CORRESPONDENCE:
P.O. BOX 5178
ELGIN, IL 60121-5178

B&F CONSTRUCTION CODE SERVICES, INC.
BUILDING & FIRE PROTECTION PLAN REVIEW
TRAINING • INSPECTIONS • CODE CONSULTING

PHONE (847) 428-7010
FAX (847) 428-3151
TOLL FREE 1-800-232-5523
E-MAIL bfees@bfees.org

April 27, 2017

Ms. Ashleigh Spacht
Village of Elwood
401 E. Mississippi Avenue
Elwood, IL 60421

RE: **Fire Station #2 – Renovation**
309 W. Mississippi, Elwood, IL
Project No. 1115799

Dear Ms. Spacht:

The plans and/or documents submitted were reviewed for compliance based on the codes and ordinances adopted by your municipality as listed on the previous plan review(s).

These plans **COMPLY** with the applicable code(s) for:

ELECTRICAL PLAN REVIEW NO. 3

based on the information received and the comments on the following page(s).

This review is limited to a review of the information submitted and no responsibility is implied or accepted for results of construction. Failure to identify a code violation does not relieve the owner of the obligation to compliance. Final construction and installations must be in conformance with the code.

Only authority having jurisdiction may grant approval for permit issuance.

Sincerely,



Seth Sommer
Director of Quality Control and Staff Development

Report Processed By: ak

Service With Integrity

Member
ICC NFPA IFIA IACET

OFFICE & SHIPPING:
2420 Vantage Drive
CORRESPONDENCE:
P.O. BOX 5178
ELGIN, IL 60121-5178

BF CONSTRUCTION CODE SERVICES, INC.
BUILDING & FIRE PROTECTION PLAN REVIEW
TRAINING • INSPECTIONS • CODE CONSULTING

PHONE (847) 428-7010
FAX (847) 428-3151
TOLL FREE 1-800-232-5523
E-MAIL bfccs@bfccs.org

April 14, 2017

Village of Elwood
401 E. Mississippi Avenue
Elwood, IL 60421

RE: Fire Station #2 – Renovation
309 W. Mississippi, Elwood, IL
Project No. 1115799

REFERENCE

Dear _____ ht:

The plans and/or documents submitted were reviewed for compliance based on the codes and ordinances adopted by your municipality as listed on the previous plan review(s).

These plans **COMPLY** with the applicable code(s) for:

BUILDING PLAN REVIEW NO. 2

This review is limited to a review of the information submitted and no responsibility is implied or accepted for results of construction. Failure to identify a code violation does not relieve the owner of the obligation to compliance. Final construction and installations must be in conformance with the code.

Only authority having jurisdiction may grant approval for permit issuance.

Sincerely,



Seth Sommer
Director of Quality Control and Staff Development

Report Processed By: ak

Service With Integrity

Member
ICC NFPA IFIA IACET

NOTICE

A certificate of occupancy and compliance must be issued prior to occupancy of all new structures, additions and for change of use.

	FEES		FEES
Building Plan review Fee	\$ 895 ⁰⁰	Capacity Expansion Fee	\$
Building Permit Fee	\$ 12470	Water Meter fee	\$
Building Inspection Fee	\$ 550	Water Tap Fee	\$
Electrical Fee	\$	Sewer Tap Fee	\$
Plumbing Fee	\$	Other	\$
Sign Fee	\$	Other	\$
Certificate of Occupancy	\$	Bond	\$
Village Impact Fee	\$	Total Fee	\$
Park District impact Fee	\$	(minus deposit)	\$
Fire District impact Fee (paid)		BALANCE DUE	\$ 13,915 ⁰⁰
School Impact Fee (paid)			

A PERMIT FOR THIS WORK IS HEREBY AUTHORIZED

Building Official



Date

10.6.2017

1-23-17

Date Received by
Com. Dev. Dept.

Village of Elwood

Established 1889

Proud of our past, Building our future.

P.O. Box 435, Elwood, IL 60421

Tel: (815)423-5011 - Fax: (815)423-6861

2017-06-06

Permit Number

10-10-2017

Date Issued

APPLICATION FOR BUILDING PERMIT

OWNER

Job Address	309 W. MISSISSIPPI
Name	ELWOOD FIRE PROTECTION DISTRICT
Address	309 W. MISSISSIPPI
City/Zip	ELWOOD IL. 60421
Telephone	815-423-5224 Fax 815-423-5783
Project Description	FIRE STATION RENOVATION

Lot

Block

Unit

Sub'd.

Tax No.

Zoning

Valuation 1247,000 Sq. Footage

The Village of Elwood requires all contractors and sub-contractors to register with the Village and pay the current registration fee and provide a certificate of insurance and bond requirements. Roofing and plumbing contractors are to provide a State of Illinois license. Electricians are to provide a license.

Architect	ANDREW PAETAK JR.	Address	1414 W. BEANS RD. MANHATTAN, IL. 60442	Ph.	815-478-5604	Fx.	815-478-5279
General	CARLSON CONSTRUCTION	Address	17250 NEW LEON ROAD JOLIET, IL.	Ph.	815-531-3400	Fx.	815-531-3401
Excavator	N/A	Address		Ph.		Fx.	
Concrete		Address		Ph.		Fx.	
Carpenter		Address		Ph.		Fx.	
Brick Mason		Address		Ph.		Fx.	
Plumber		Address		Ph.		Fx.	
Sewer & Water		Address		Ph.		Fx.	
Electrician		Address		Ph.		Fx.	
Heating		Address		Ph.		Fx.	
Roofing		Address		Ph.		Fx.	
Insulator		Address		Ph.		Fx.	
Asphalt		Address		Ph.		Fx.	
Siding	N/A	Address		Ph.		Fx.	
Other	FIRE PROTECTION	Address		Ph.		Fx.	
Other		Address		Ph.		Fx.	

CONDITIONS OF PERMIT

In consideration of this application and attached forms being made a part thereof and the issuance of permit, I will conform to the regulations set forth in the Village of Elwood codes and ordinances.

I also agree that all work performed under said permit will be in accordance with the plans and specifications which accompany this application, except for such changes as may be authorized or required by the Building Official.

All inspections require a MINIMUM 48 hour notice.

Call 815-423-5011

Inspection required prior to placement of concrete.

Applicants required to notify J.U.L.I.E.

Call 1-800/892-0123 prior to digging.

Signature of Agent

Glenn Heichel
Marty

Print Name

GLENN HEICHEL

June 6, 2017

17250 New Lenox Rd
Joliet, IL 60433

Building Permit for Fire Station Renovations – 309 W. Mississippi Avenue

Permit Number: 2017-06-06

On June 6, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further engineering concerns.

This letter serves as an approval for the Fire Station Renovation at 309 W. Mississippi Avenue. Upon payment of the permit fee in the amount of \$13,915.00, a permit will be issued which is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 12/06/2017. The following conditions apply to permit approval:

- 1) The following inspections are required:
 - a. Underground Plumbing
 - b. Rough Building Inspection
 - c. Rough Electrical Inspection
 - d. Rough Mechanical Inspection
 - e. Rough Plumbing Inspection
 - f. Above Ceiling Inspection
 - g. Final Building Inspection
 - h. Final Mechanical Inspection
 - i. Final Electrical Inspection
 - j. Final Plumbing Inspection
- 2) The applicant must notify the Village of Elwood when ready for inspection. All inspections require a minimum 48-hour business day notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, please contact me at (815) 424-1091, or via email at syreeta.slappey@villageofelwood.com.

Sincerely,



Syreeta Slappey
Permit Technician

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ❖ PHONE (815) 423-5011 ❖ FAX (815) 423-6861

PERMIT NUMBER: 2017-06-06

ISSUE DATE: June 6, 2017

EXP. DATE: December 6, 2017

PROPERTY ADDRESS: 309 W. Mississippi
Elwood, IL 60421

PROPERTY OWNER: _____

DESCRIPTION OF PERMITTED WORK

Complete Renovation/Remodel Of The Exsisting Fire Station

CONTRACTOR INFORMATION

Contractor Company: Carlson Construction Company

Main Contact: Joe Desimone

Phone Number: (815) 538-3085

REQUIRED INSPECTIONS

<input type="checkbox"/> Underground Plumbing		<input type="checkbox"/> Above Ceiling
<input type="checkbox"/> Rough Building		<input type="checkbox"/> Final Building
<input type="checkbox"/> Rough Electrical		<input type="checkbox"/> Final Mechanical
<input type="checkbox"/> Rough Mechanical		<input type="checkbox"/> Final Electrical
<input type="checkbox"/> Rough Plumbing		<input type="checkbox"/> Final Plumbing

APPROVAL SIGNATURE

Syreeta Slappey, Permit Technician

June 6, 2017

17250 New Lenox Rd
Joliet, IL 60433

Building Permit for Fire Station Renovations – 309 W. Mississippi Avenue

Permit Number: 2017-06-06

On June 6, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further engineering concerns.

This letter serves as an approval for the Fire Station Renovation at 309 W. Mississippi Avenue. Upon payment of the permit fee in the amount of \$13,915.00, a permit will be issued which is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 12/06/2017. The following conditions apply to permit approval:

- 1) The following inspections are required:
 - a. Underground Plumbing
 - b. Rough Building Inspection
 - c. Rough Electrical Inspection
 - d. Rough Mechanical Inspection
 - e. Rough Plumbing Inspection
 - f. Above Ceiling Inspection
 - g. Final Building Inspection
 - h. Final Mechanical Inspection
 - i. Final Electrical Inspection
 - j. Final Plumbing Inspection
- 2) The applicant must notify the Village of Elwood when ready for inspection. All inspections require a minimum 48-hour business day notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, please contact me at (815) 424-1091, or via email at syreeta.slappey@villageofelwood.com.

Sincerely,



Syreeta Slappey
Permit Technician

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ❖ PHONE (815) 423-5011 ❖ FAX (815) 423-6861

PERMIT NUMBER: 2017-06-05

ISSUE DATE: June 6, 2017

EXP. DATE: December 6, 2017

PROPERTY ADDRESS: 26550 Baseline Road
Elwood, IL 60421

PROPERTY OWNER: _____

DESCRIPTION OF PERMITTED WORK

Renovate Existing Transload; Move 3 Scales 23ft West. Install New Concrete Pad Fabric Enclosure, and Conveyor For Storage of Bulk commodities.

CONTRACTOR INFORMATION

Contractor Company: Prairie Land Millwright

Main Contact: Revis Stephenson

Phone Number: (815) 538-3085

REQUIRED INSPECTIONS

☐ Foundation

☐ Rough Electrical

☐ Slab (Pre-Pour)

☐ Final Building

☐ Rough Building

☐ Final Electrical

APPROVAL SIGNATURE _____

Syreeta Slappey, *Permit Technician*

June 6, 2017

Mr. Eric Stephenson
708 North 1st Street #340
Minneapolis, MN 55401

Building Permit for Transload Renovations – 26550 Baseline Road

Permit Number: 2017-06-05

On June 6, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further engineering concerns.

This letter serves as an approval for the Transload Renovation at 26550 Baseline Road. Upon payment of the permit fee in the amount of \$7,464.98.00, a permit will be issued which is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 12/06/2017. The following conditions apply to permit approval:

1) The following inspections are required:

- | | |
|--------------------|---------------------|
| a. Foundations | d. Rough Electrical |
| b. Slab (pre-pour) | e. Final Building |
| c. Rough Building | f. Final Electrical |

2) The applicant must notify the Village of Elwood when ready for inspection. All inspections require a minimum 48-hour business day notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, please contact me at (815) 424-1091, or via email at syreeta.slappey@villageofelwood.com.

Sincerely,



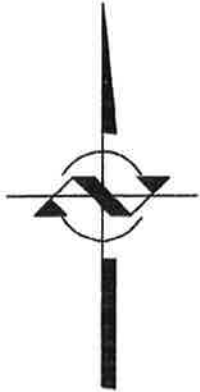
Syreeta Slappey
Permit Technician

R.H. GRANATH
SURVEYING SERVICE, P.C.
PH: (708) 371-4478
FAX (708) 371-3922

PLAT OF

of

LOT 222 IN MEADOWBROOK 4TH ADDITION, BEING A SUBDIVISION OF PART OF T1
THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL



SCALE 1"=20'

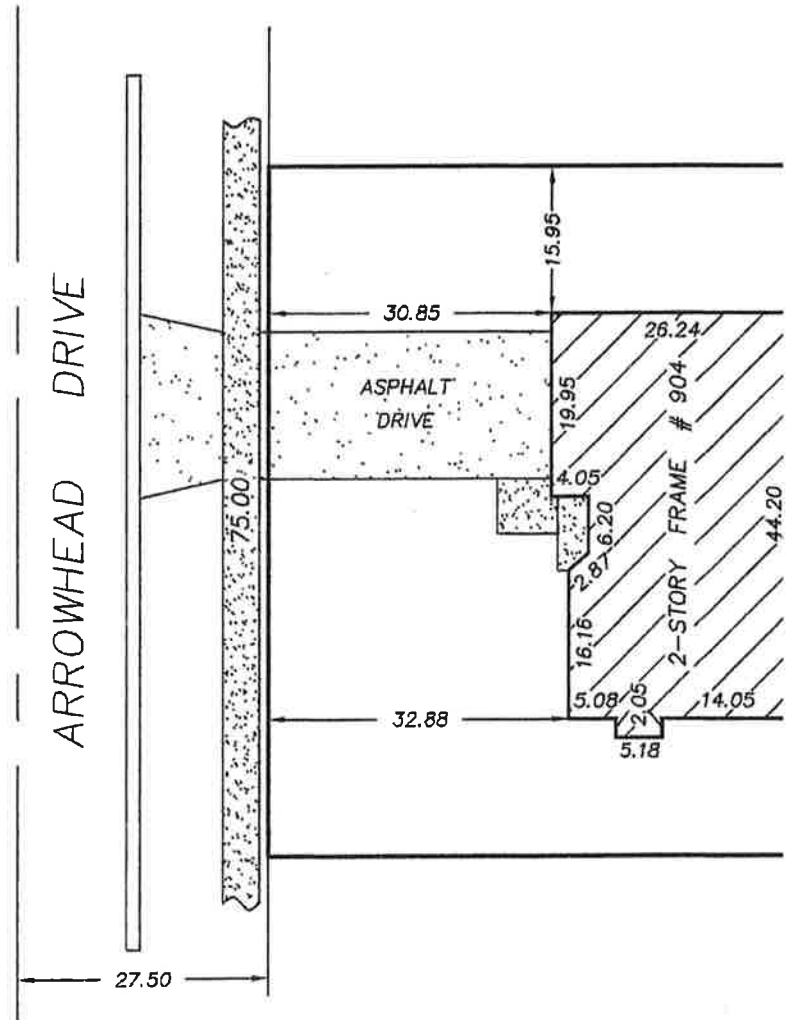


STATE OF ILLINOIS)
COUNTY OF COOK) SS

THIS IS TO CERTIFY THAT R.H. GRANATH SURVEYING SERVICE, P.C. HAS ISSUED THIS PLAT FROM FIELD SURVEY DATA OBTAINED AT THE PROPERTY INDICATED IN THE CAPTION LEGAL DESCRIPTION AND PUBLIC RECORDS, AND THAT THE FOREGOING IS A TRUE AND CORRECT REPRESENTATION OF THE SAME. THIS PLAT OF SURVEY CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE PER TITLE 68 CHAPTER VII, SUBCHAPTER b, SECTION 1270.56 IN THE RULES FOR THE ILLINOIS PROFESSIONAL LAND SURVEYOR ACT. NO BOUNDARY CORNERS WERE SET DURING THIS FIELD SURVEY OF THE SUBJECT PROPERTY BY CLIENT AGREEMENT (ITEM 3D OF SAID RULES). ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.

STEVEN R. GRANATH I.P.L.S. No. 3169

VALID ONLY IF EMBOSSED SEAL IS AFFIXED



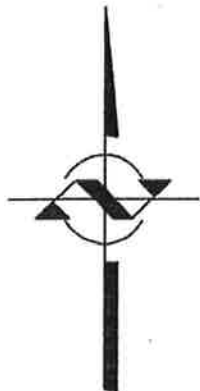
COMPARE ALL DIMENSIONS BEFORE BUILDING.
ONCE, REFER TO DEED OR TITLE POLICY FOR

R.H. GRANATH
SURVEYING SERVICE, P.C.
PH: (708) 371-4478
FAX (708) 371-3922

PLAT OF

of

LOT 222 IN MEADOWBROOK 4TH ADDITION, BEING A SUBDIVISION OF PART OF T1
THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL



SCALE 1"=20'

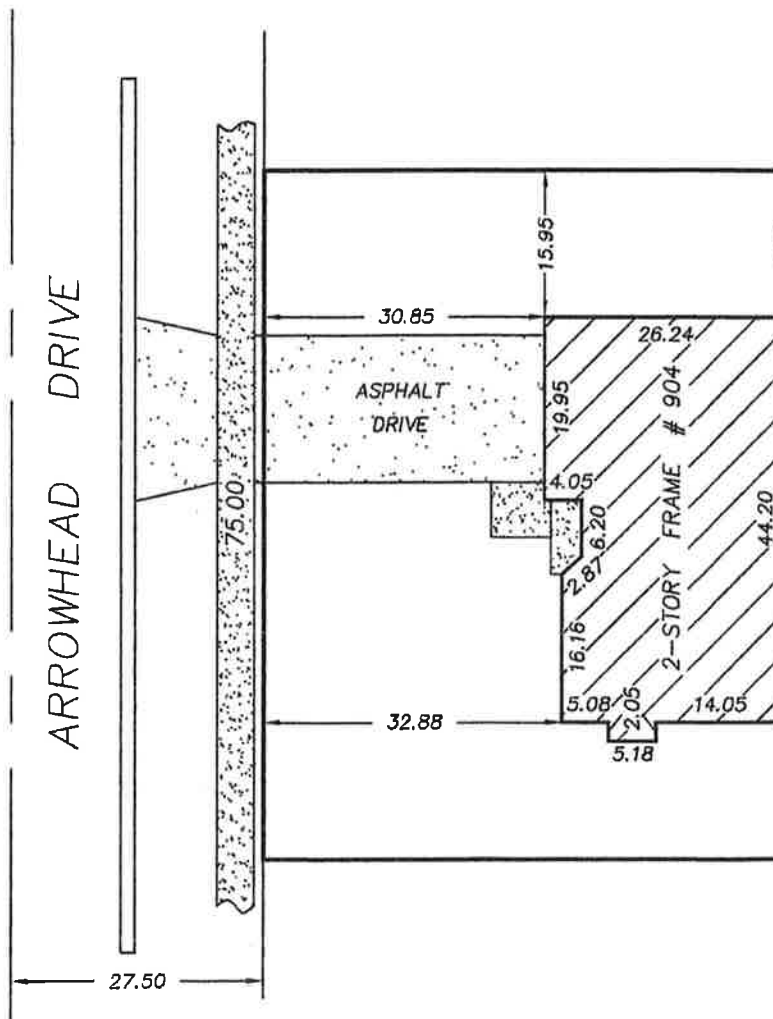


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COMPARE ALL DIMENSIONS BEFORE BUILDING,
ONCE, REFER TO DEED OR TITLE POLICY FOR

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 423-5011 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-06-04

ISSUE DATE: June 2, 2017

EXP. DATE: December 2, 2017

PROPERTY ADDRESS: 904 Arrowhead Drive
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Remove & Replace Existing Deck

CONTRACTOR INFORMATION

Contractor Company: Homeowner

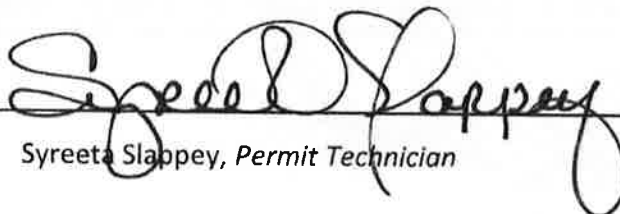
Main Contact: Lawrence McMullen

Phone Number: (815) 514-3240

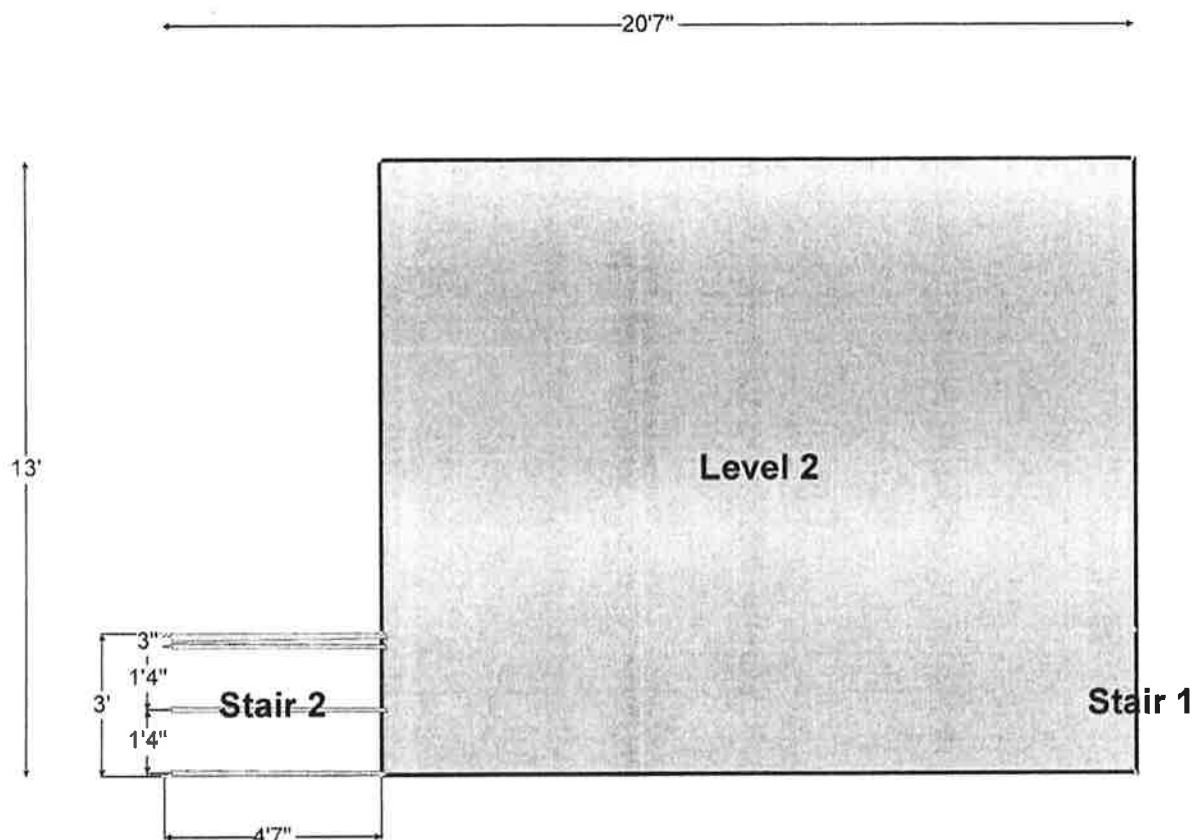
REQUIRED INSPECTIONS

- ☐ Post-hole
- ☐ Rough Framing
- ☐ Final Inspection

APPROVAL SIGNATURE


Syreeta Slappey, Permit Technician

Stringer Dimension Sheet for All Types of Stairs on Level 2



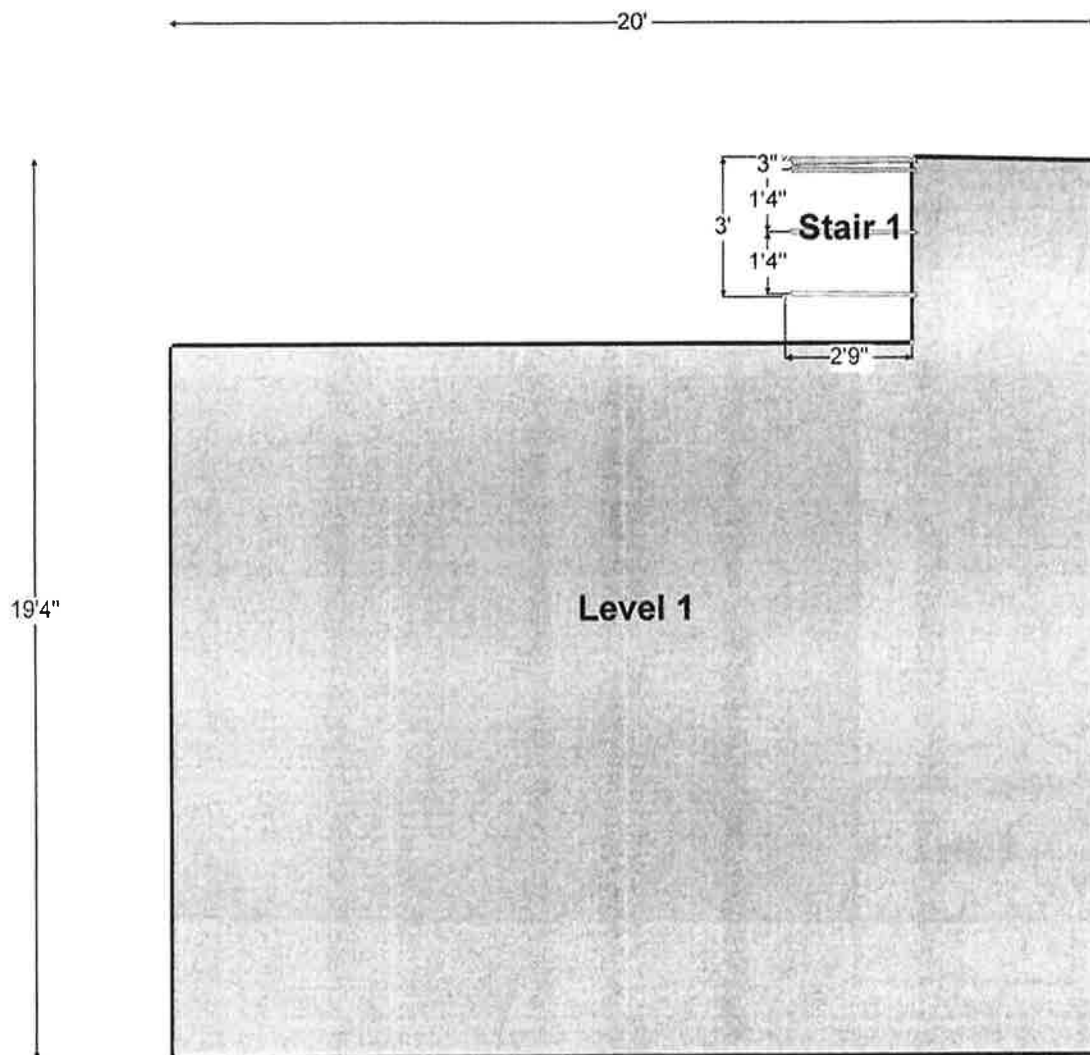
The lengths noted are provided as a layout guide. Field check dimensions prior to cutting.

Layout dimension sheets are intended as a construction aid. Not all options selected are shown.

Final design should be performed by a registered professional engineer to ensure all applicable building codes and regulations are met.

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Stringer Dimension Sheet for All Types of Stairs on Level 1



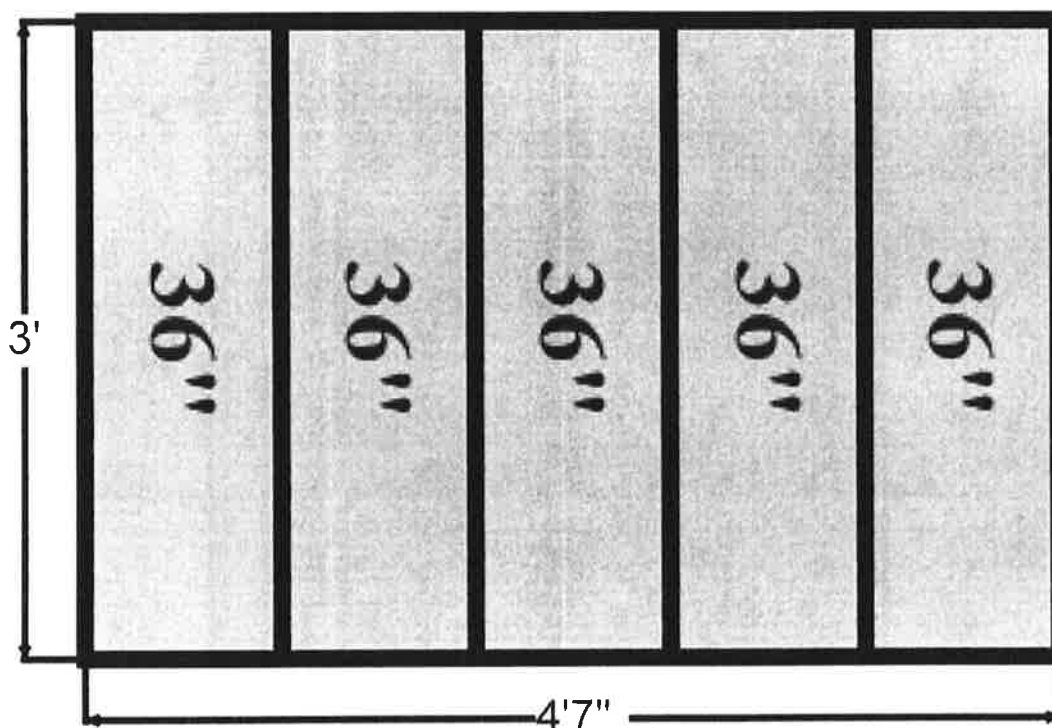
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Tread Dimension Sheet for Stair 2



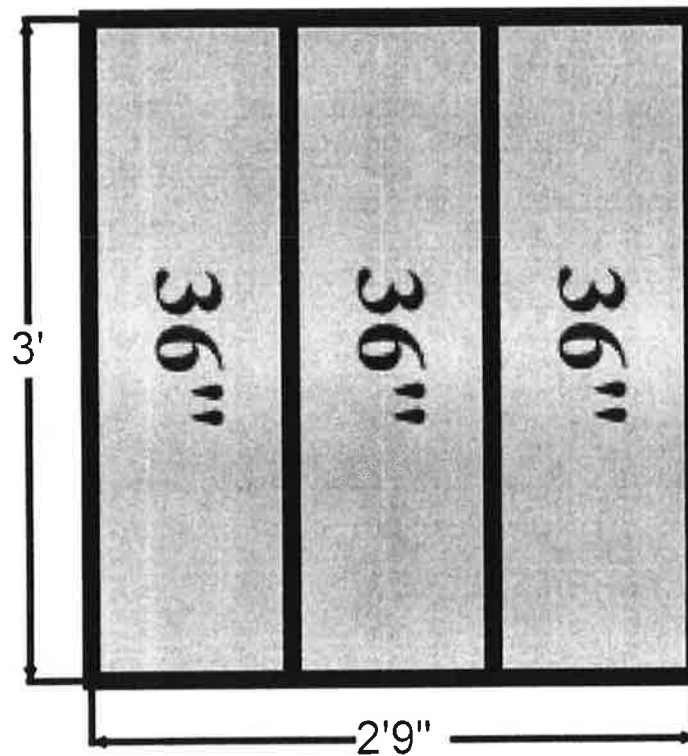
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Tread Dimension Sheet for Stair 1



The lengths noted are provided as a layout guide. Field check dimensions prior to cutting.

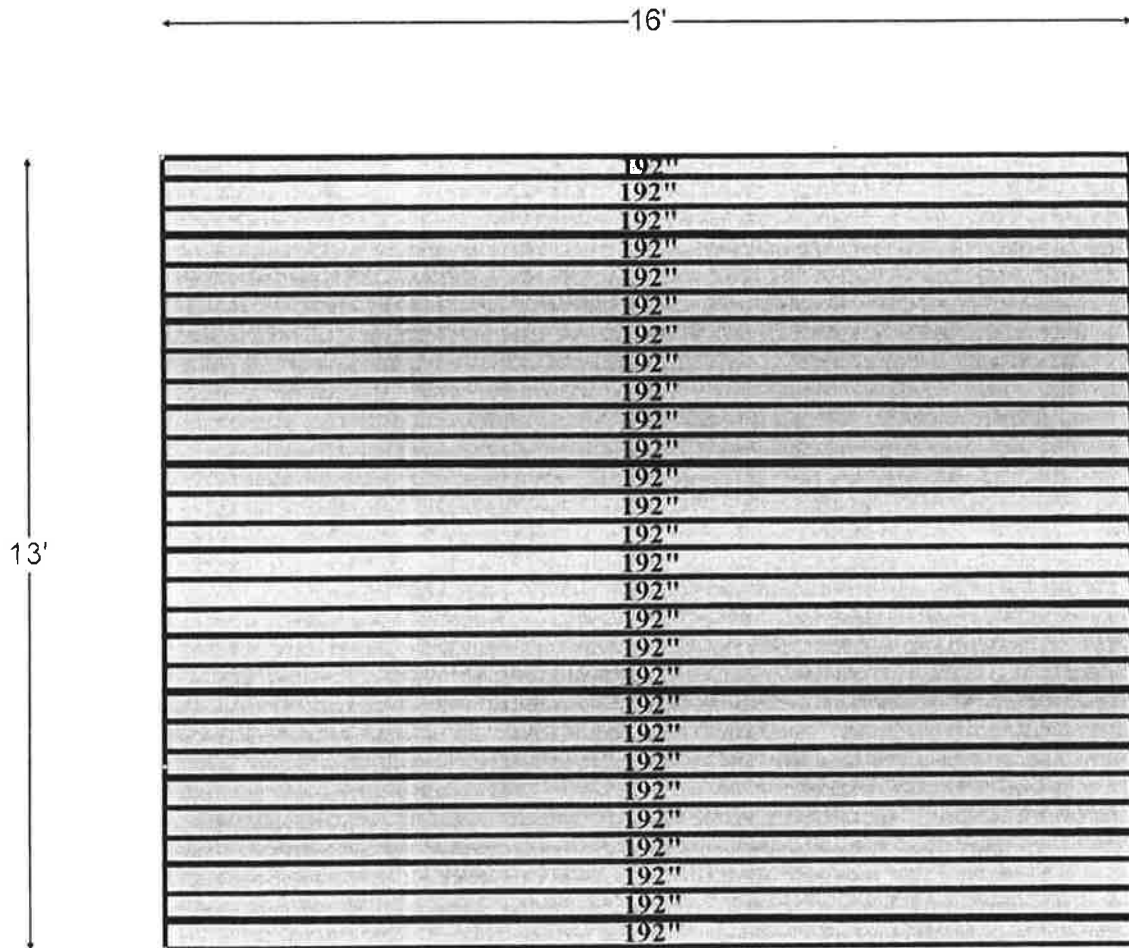
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Deck Board Dimension Sheet for Level 2



The lengths noted are provided as a layout guide. Field check dimensions prior to cutting.

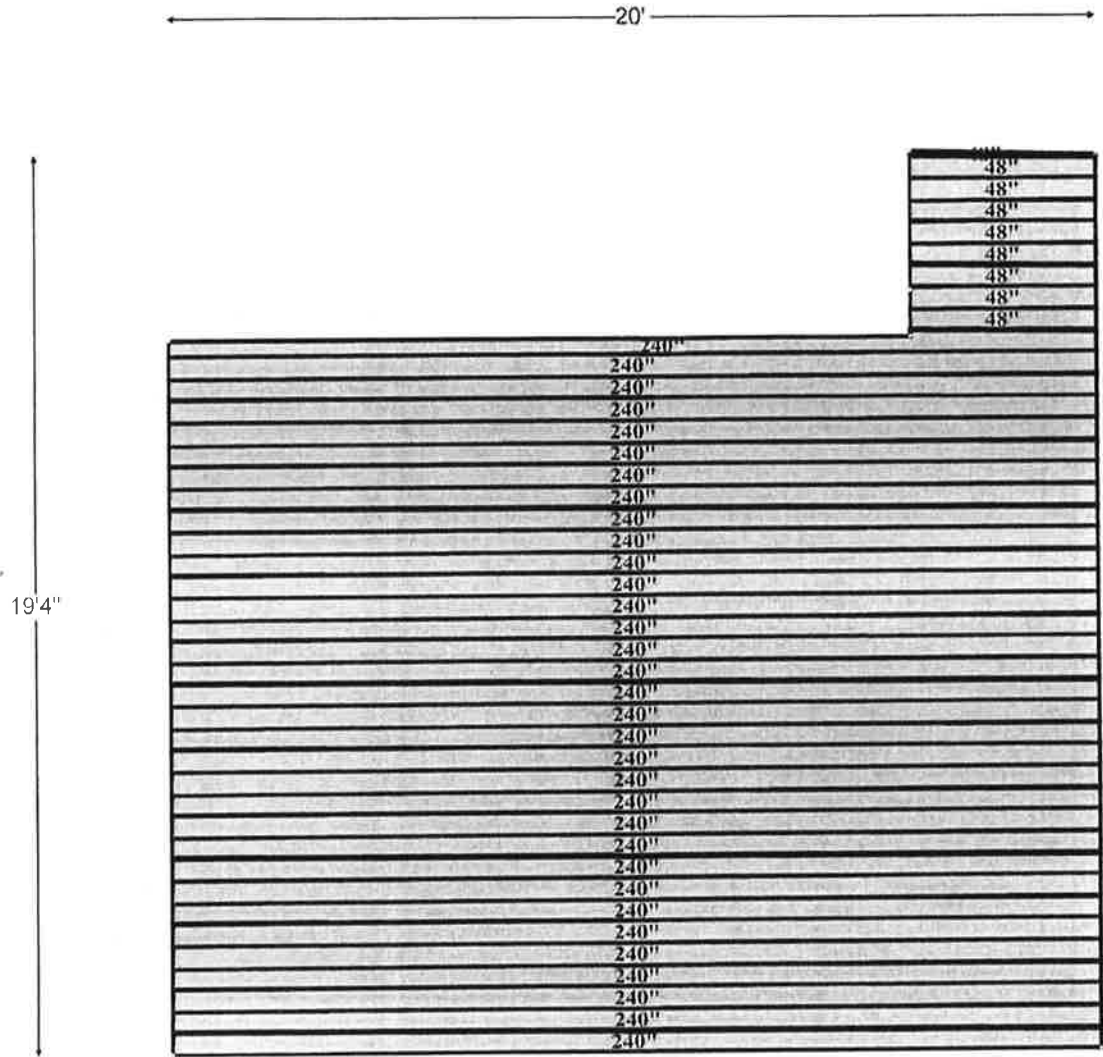
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Deck Board Dimension Sheet for Level 1



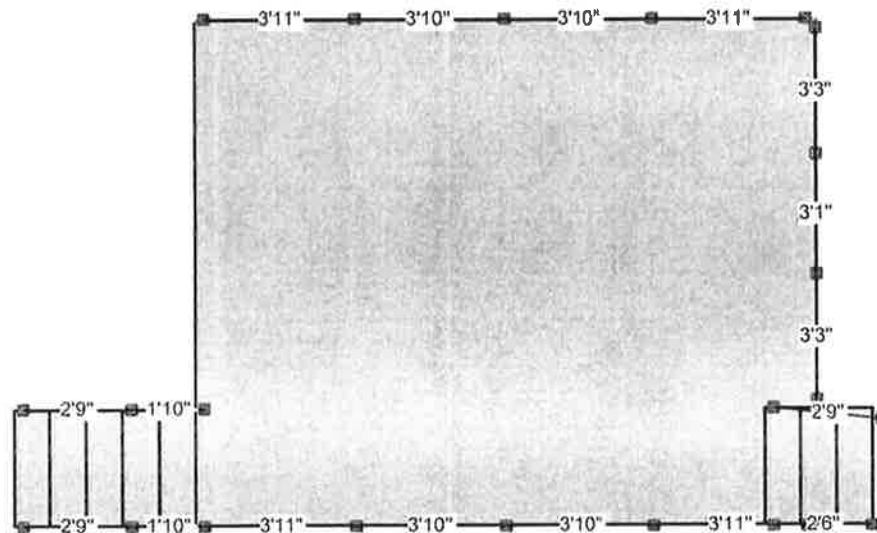
The lengths noted are provided as a layout guide. Field check dimensions prior to cutting.

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Railing Post Dimension Sheet for Level 2

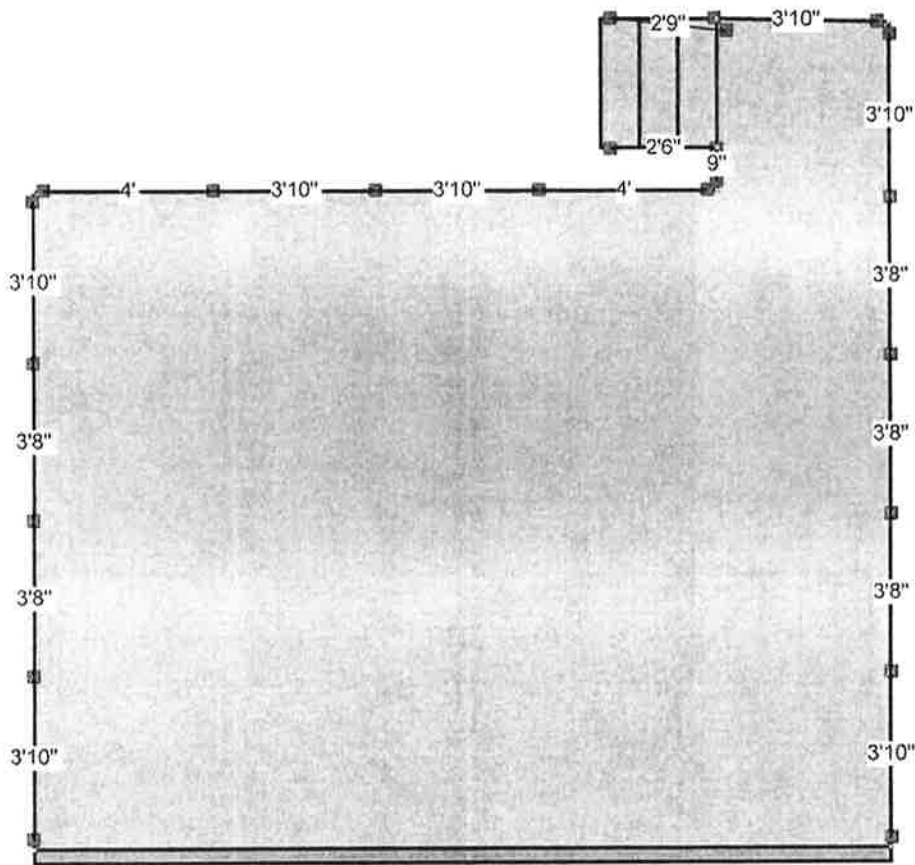


Dimensions are measured from the center of each railing post

Layout dimension sheets are intended as a construction aid. Not all options selected are shown.



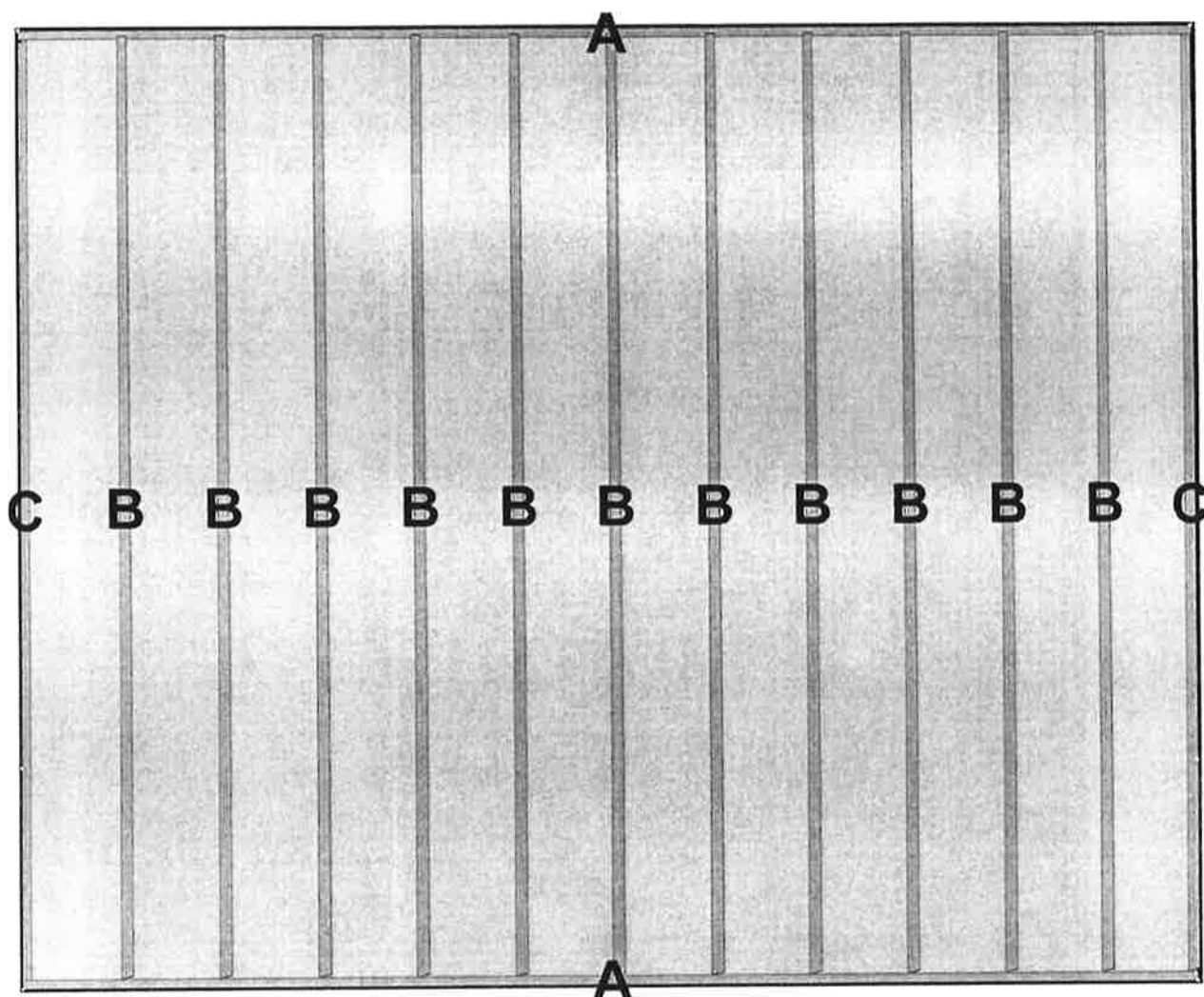
Railing Post Dimension Sheet for Level 1



Dimensions are measured from the center of each railing post

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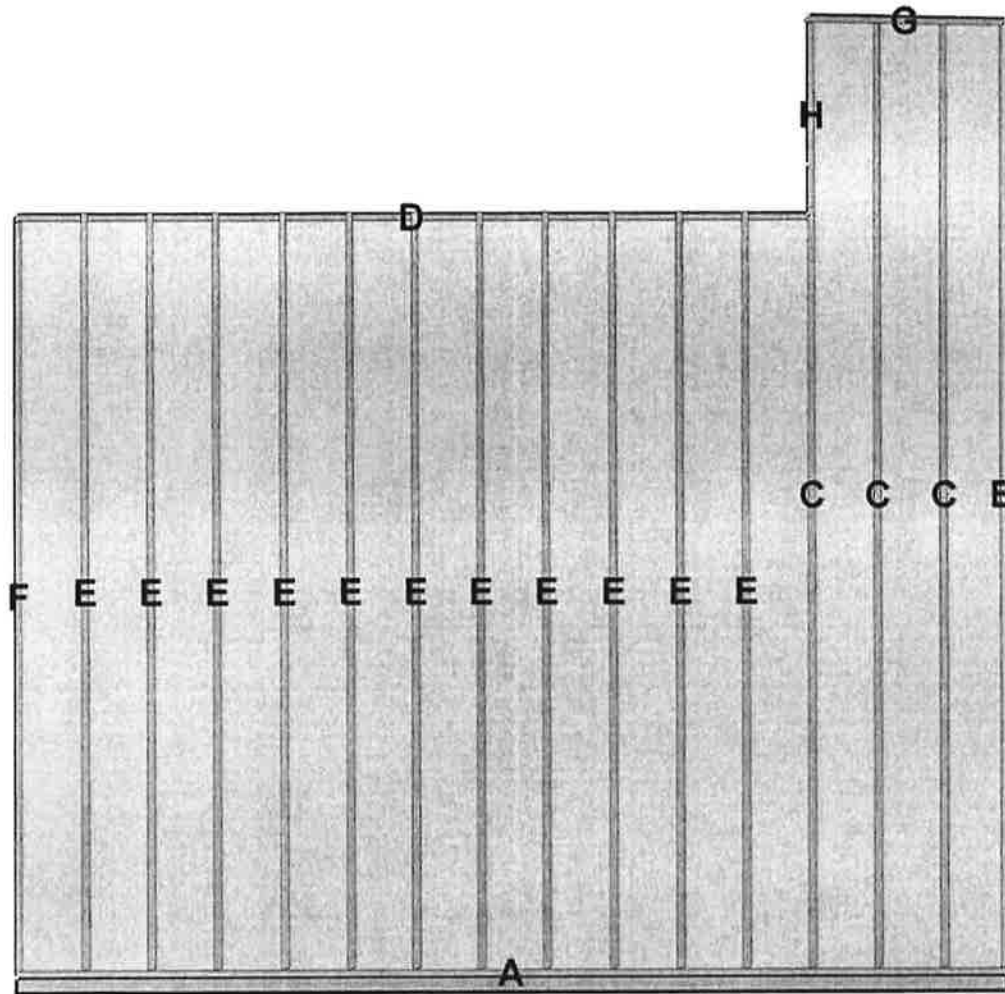
Joist Layout for Level 2



Mark	Length	Description	Usage
A	16' 0"	2-2X8 AC2	Rim Joist
B	12' 10"	11-2X8 AC2	Internal Joist
C	12' 9"	2-2X8 AC2	Rim Joist

The lengths noted are provided as a layout guide. Field check dimensions prior to cutting.
 Joist to be on 16 "
 Joist to be toe-nailed to beams with 3-1/2" fasteners
 Rim Joists to be faced-nailed to joist and ledgers with 3-1/2" fasteners
 Y bracing is estimated, but not shown. Blocking and bridging may be required by your local code
 Layout dimension sheets are intended as a construction aid. Not all options selected are shown.

Joist Layout for Level 1



Mark	Length	Description	Usage
A	20' 0"	1-2X8 AC2	Ledger Joist
B	19' 2"	1-2X8 AC2	Rim Joist
C	19' 2"	3-2X8 AC2	Internal Joist
D	16' 0"	1-2X8 AC2	Rim Joist
E	15' 3"	11-2X8 AC2	Internal Joist
F	15' 1"	1-2X8 AC2	Rim Joist
G	4' 1"	1-2X8 AC2	Rim Joist
H	3' 9"	1-2X8 AC2	Rim Joist

The lengths noted are provided as a layout guide. Field check dimensions prior to cutting.
Joist to be on 16 "

Joist to be toe-nailed to beams with 3-1/2" fasteners

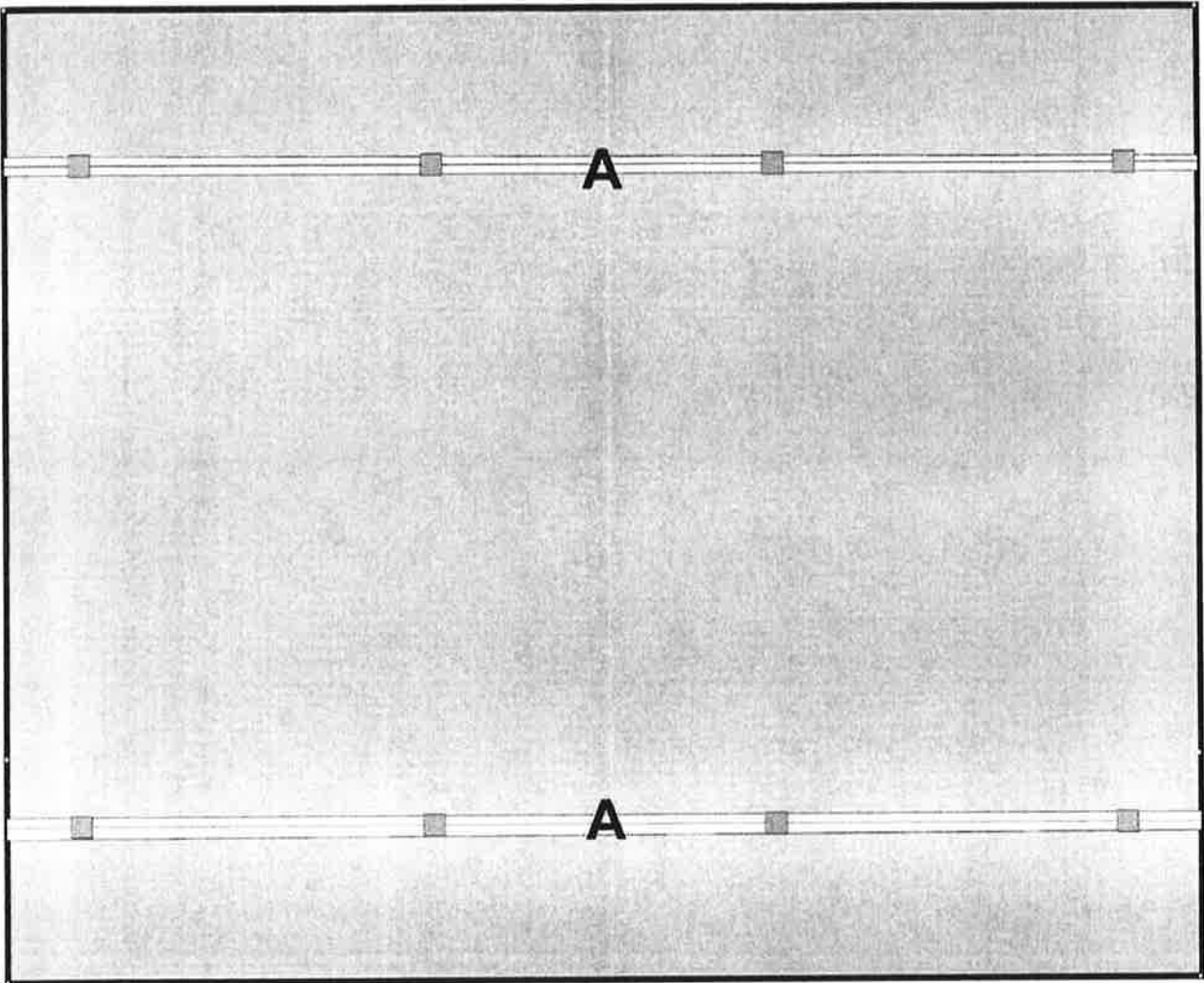
Rim Joists to be faced-nailed to joist and ledgers with 3-1/2" fasteners

Y bracing is estimated, but not shown. Blocking and bridging may be required by your local code

Layout dimension sheets are intended as a construction aid. Not all options selected are shown.

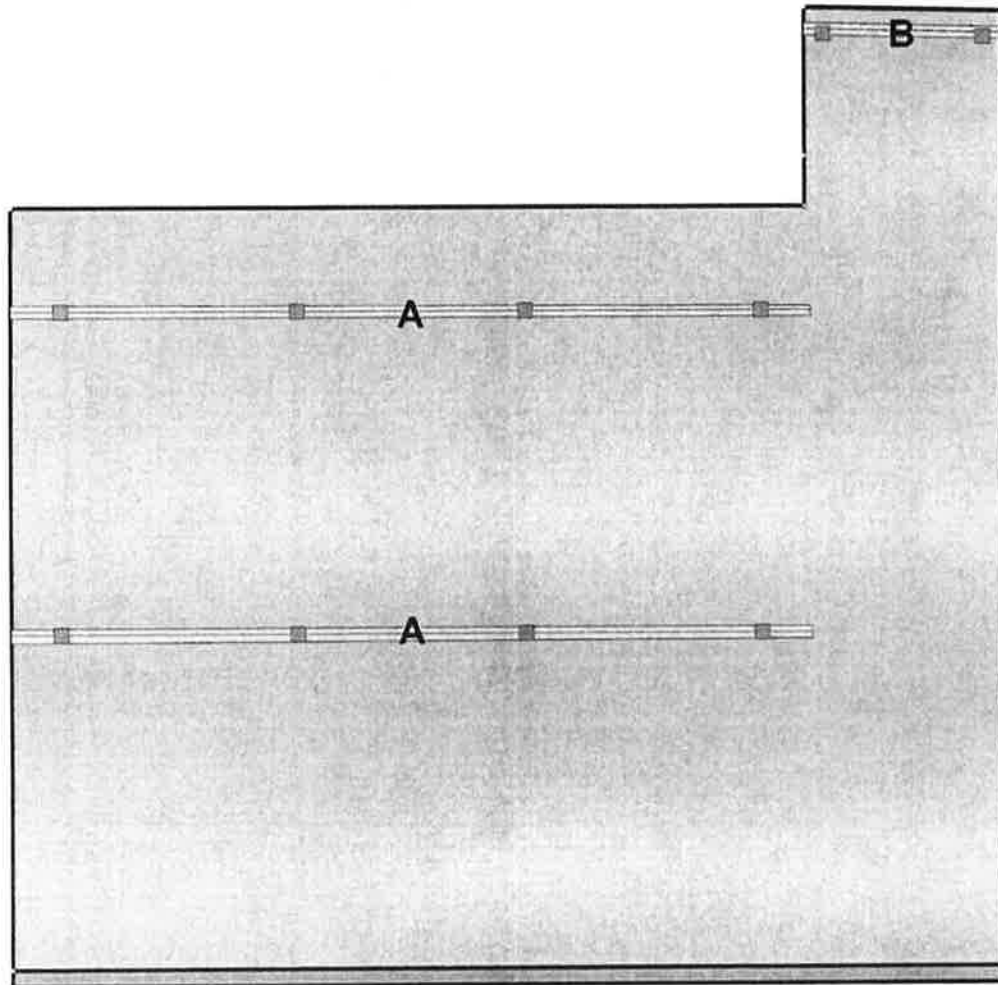


Beam Layout for Level 2



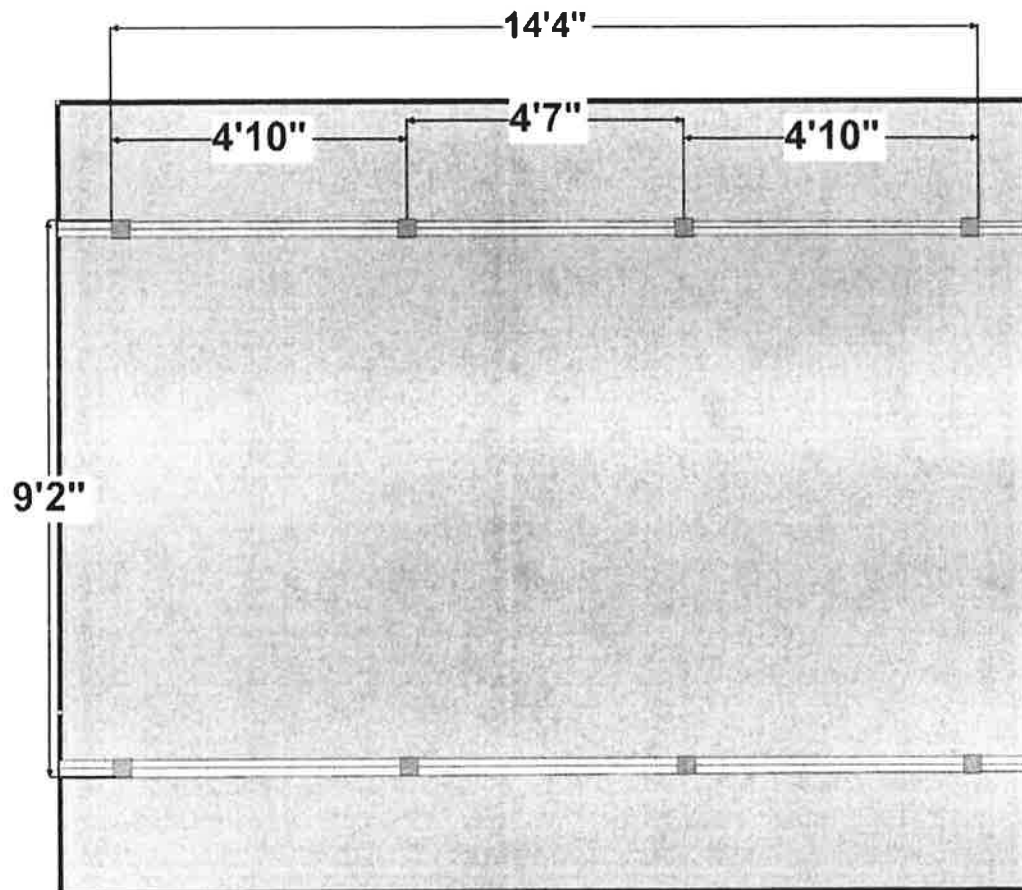
Mark	Length	Description
A	16' 0"	4-2X8 AC2

Beam Layout for Level 1



Mark	Length	Description
A	16' 2"	4-2X8 AC2
B	4' 1"	2-2X8 AC2

Post and Beam Dimension Sheet for Level 2

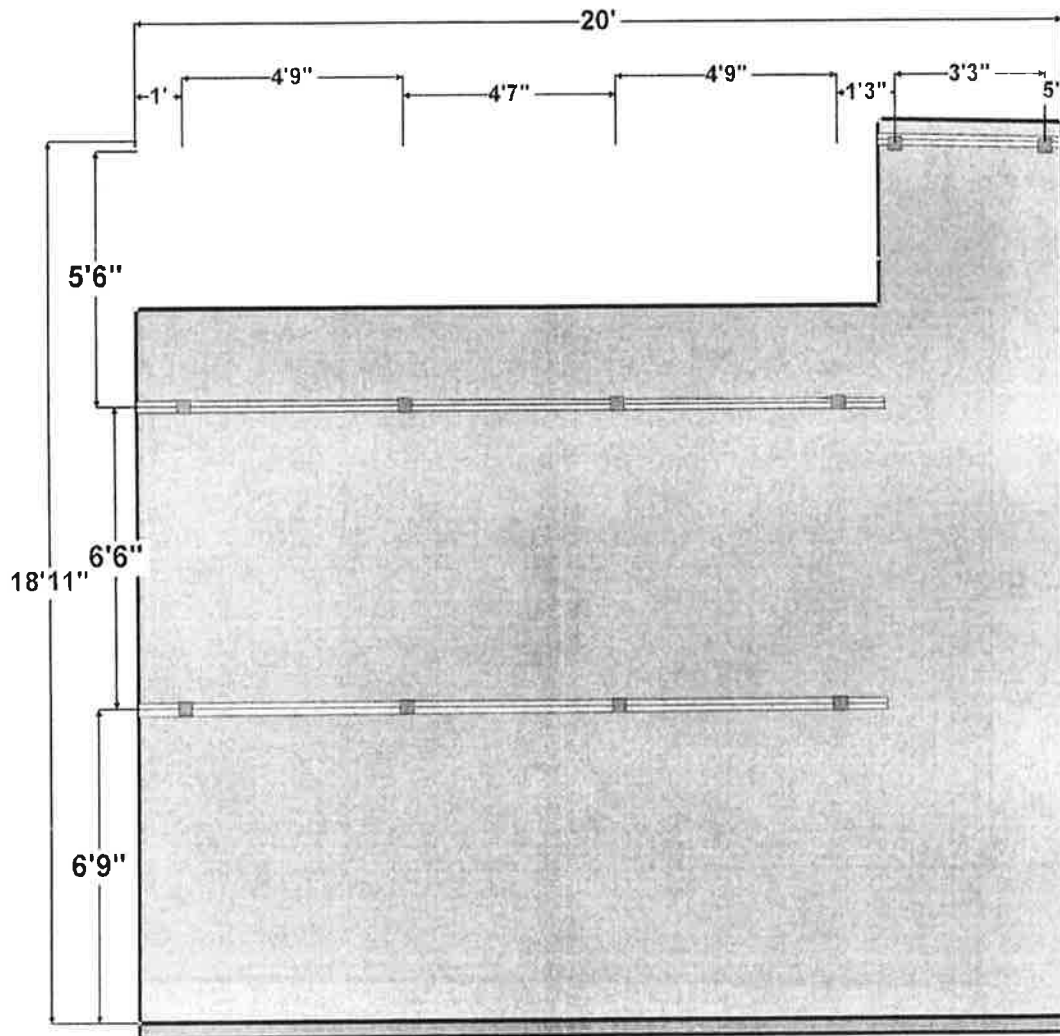


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Post and Beam Dimension Sheet for Level 1



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Level Information

Level 1 - 20' 0" Length X 19' 4" Width X 5' 8" Height, Deck, 40 PSF Load Rating, Horizontal Decking Direction, 16" Joist Spacing

Level 2 - 16' 0" Length X 13' 0" Width X 3' 4" Height, Standard Deck, 40 PSF Load Rating, Horizontal Decking Direction, 16" Joist Spacing

Framing Information

4X4 AC2 Framing Posts

Poured Footings 12" Tube (includes concrete) with 3' 6" Depth

2X8 AC2 Joists

2X8 AC2 Beams

Solid Placement for Beam Positioning on Framing Posts

Beam and Joist Cantilever - 2 Feet



Deck Board Information

5/4x6 AC2

Square Drive 2 1/2" Premium Gold Screws

Railing Information

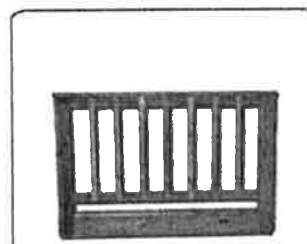
AC2 Railing Type

36" Continuous T Handrail

2X2X36 Square Colonial Spindles

4X4X54 Chamfer No Notch Railing Post, Joist Mounted

2X6 AC2 Hand Rail



Other Material Information

Galvanized Joist Hangers

Galvanized Framing Fasteners

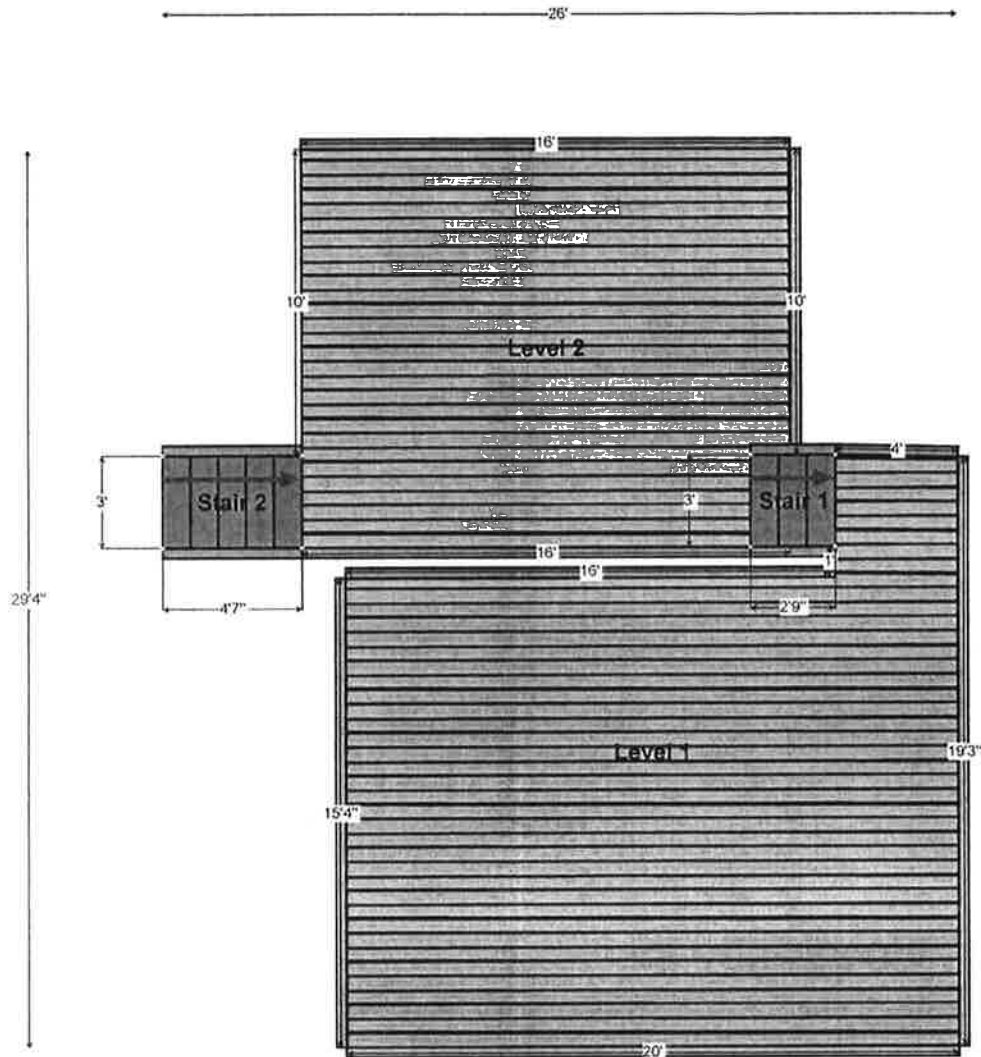


Estimated Price:

\$4,839.80

*Today's estimated price, future pricing may go up or down. Tax, labor, and delivery not included.

Final design should be performed by a registered professional engineer to ensure all applicable building codes and regulations are met.



	Wall Attached		Railing
--	---------------	--	---------

Estimated Price:

\$4,839.80

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Final design should be performed by a registered professional engineer to ensure all applicable building codes and regulations are met.

The Design ID can be used for recalling your design from Menards.com or one of our in-store Design-It kiosks. The Estimate ID can be used to purchase your items from the Menards location above.

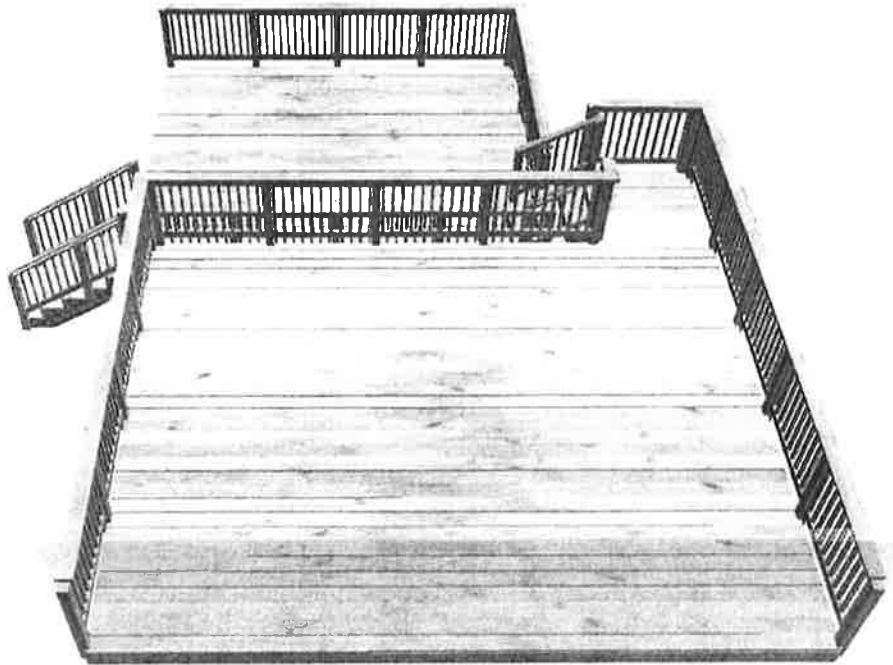


Illustration intended to show general deck size and shape. Some options selected may not be shown for picture clarity.

Estimated Price:

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NOTICE

A certificate of occupancy and compliance must be issued prior to occupancy of all new structures, additions and for change of use.

	FEES		FEES
Building Plan review Fee	\$ 25	Capacity Expansion Fee	\$
Building Permit Fee	\$ 34	Water Meter fee	\$
Building Inspection Fee	\$ 1105	Water Tap Fee	\$
Electrical Fee	\$	Sewer Tap Fee	\$
Plumbing Fee	\$	Other	\$
Sign Fee	\$	Other	\$
Certificate of Occupancy	\$	Bond	\$
Village Impact Fee	\$	Total Fee	\$
Park District impact Fee	\$	(minus deposit)	\$
Fire District impact Fee (paid)		BALANCE DUE	\$ 224
School Impact Fee (paid)			

A PERMIT FOR THIS WORK IS HEREBY AUTHORIZED

Building Official



Date

6.2.17

5.23.17 *818*

Date Received by
Com. Dev. Dept.



Village of Elwood

• Established 1889 •

Proud of our past, Building our future.

P.O. Box 435, Elwood, IL 60421

Tel: (815)423-5011 - Fax: (815)423-6861

2017.06.04

Permit Number

6.2.17

Date Issued

APPLICATION FOR BUILDING PERMIT

OWNER

Job Address	704 ARROWHEAD DR
Name	
Address	704 ARROWHEAD DR
City/Zip	ELWOOD 60421
Telephone	815-514-3140 Fax

Lot

Block	Unit
Sub'd.	
Tax No.	
Zoning	
Valuation	Sq. Footage

Project Description	TEAR DOWN OLD DECK + BUILD NEW DECK
---------------------	-------------------------------------

The Village of Elwood requires all contractors and sub-contractors to register with the Village and pay the current registration fee and provide a certificate of insurance and bond requirements. Roofing and plumbing contractors are to provide a State of Illinois license. Electricians are to provide a license.

Architect	Address	Ph.	Fx.
General	Address	Ph.	Fx.
Excavator	Address	Ph.	Fx.
Concrete	Address	Ph.	Fx.
Carpenter	Address	Ph.	Fx.
Brick Mason	Address	Ph.	Fx.
Plumber	Address	Ph.	Fx.
Sewer & Water	Address	Ph.	Fx.
Electrician	Address	Ph.	Fx.
Heating	Address	Ph.	Fx.
Roofing	Address	Ph.	Fx.
Insulator	Address	Ph.	Fx.
Asphalt	Address	Ph.	Fx.
Siding	Address	Ph.	Fx.
Other	Address	Ph.	Fx.
Other	Address	Ph.	Fx.

CONDITIONS OF PERMIT

In consideration of this application and attached forms being made a part thereof and the issuance of permit, I will conform to the regulations set forth in the Village of Elwood codes and ordinances.

I also agree that all work performed under said permit will be in accordance with the plans and specifications which accompany this application, except for such changes as may be authorized or required by the Building Official.

All inspections require a MINIMUM 48 hour notice.

Call 815-423-5011

Inspection required prior to placement of concrete.

Applicants required to notify J.U.L.I.E.

Call 1-800/892-0123 prior to digging.

Signature of Agent _____

Print Name _____



June 2, 2017

904 Arrowhead Drive
Elwood, IL 60421

Building Permit for Deck Replacement – 904 Arrowhead Drive

Permit Number: 2017-06-04

On June 2, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further engineering concerns.

This letter serves as an approval for the replacement the deck at 904 Arrowhead Drive. Upon payment of the permit fee in the amount of \$226.00, the resident will be issued a permit which is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 12/02/2017. The following conditions apply to permit approval:

- 1) The inspector shall verify that deck postholes are 42" below grade before concrete is poured.
- 2) Inspector shall complete & approve a rough framing inspection before decking is applied
- 3) Permit holder shall schedule a final inspection.
 - a. Deck is not to be occupied until final inspection has been approved by local building inspector.
- 4) The applicant must notify the Village of Elwood when ready for inspection. All inspections require a minimum 48-hour business day notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, I can be reached at (815) 424-1091, or via email at syreeta.slappey@villageofelwood.com.

Sincerely,



Syreeta Slappey
Permit Technician

MISCELLANEOUS PLAN REVIEW

Municipality: Village of Elmhurst

Owner/Occupant: _____

Site address: 904 Greenwood Dr

Applicants name: _____ Applicant's telephone: 815-514-3240

Type of review: Tear down & Rebuild deck

B & F Plan Review Project Number: _____

B & F Inspection number: 1349

Municipal permit number: _____

Other dept./consultant approval: _____ ☐ N/A

☒ Comply

☐ Not comply

☐ Comply with notes

Comments: Required inspections

1. post hole - pre concrete

2. Rough Framing - pre Decking

3. Final Deck

Plan Reviewer: Mike Hays Date: 5-30-17

Fees: Plan Review: \$ 2500 Inspections: \$ _____

Sheet 1 of 1

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 423-5011 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-06-04

ISSUE DATE: June 2, 2017

EXP. DATE: December 2, 2017

PROPERTY ADDRESS: 904 Arrowhead Drive
Elwood, IL 60421

PROPERTY OWNER: *Lawrence McMullen*

DESCRIPTION OF PERMITTED WORK

Remove & Replace Existing Deck

CONTRACTOR INFORMATION

Contractor Company: Homeowner

Main Contact: Lawrence McMullen

Phone Number: (815) 514-3240

REQUIRED INSPECTIONS

☐ Post-hole

☐ Rough Framing

☐ Final Inspection

APPROVAL SIGNATURE

Syreeta Slappey, *Permit Technician*

June 2, 2017

904 Arrowhead Drive
Elwood, IL 60421

Building Permit for Deck Replacement – 904 Arrowhead Drive

Permit Number: 2017-06-04

On June 2, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further engineering concerns.

This letter serves as an approval for the replacement the deck at 904 Arrowhead Drive. Upon payment of the permit fee in the amount of \$226.00, the resident will be issued a permit which is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 12/02/2017. The following conditions apply to permit approval:

- 1) The inspector shall verify that deck postholes are 42" below grade before concrete is poured.
- 2) Inspector shall complete & approve a rough framing inspection before decking is applied
- 3) Permit holder shall schedule a final inspection.
 - a. Deck is not to be occupied until final inspection has been approved by local building inspector.
- 4) The applicant must notify the Village of Elwood when ready for inspection. All inspections require a minimum 48-hour business day notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, I can be reached at (815) 424-1091, or via email at syreeta.slaphey@villageofelwood.com.

Sincerely,



Syreeta Slaphey
Permit Technician

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 424-1074 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-06-03

ISSUE DATE: June 2, 2017

EXP. DATE: December 2, 2017

PROPERTY ADDRESS: 137 E. Bush
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Installation of a 14'6"X30' in-ground swimming pool.

CONTRACTOR INFORMATION

Contractor Company: Expert Pool Builders

Main Contact: Gregory Hoover

Phone Number: (312) 515-4172

REQUIRED INSPECTIONS

<input type="checkbox"/> Footer Inspection (Pre Back-Fill)	<input type="checkbox"/> Underground Gas Line Pool Heater (Pre Back-Fill)
<input type="checkbox"/> Pool Bonding Inspection	<input type="checkbox"/> Final Pool Inspection
<input type="checkbox"/> Pre-Pour Pool Deck	<input type="checkbox"/> Final Electrical Inspection
<input type="checkbox"/> Underground Electrical Inspection (Pre Back-Fill)	<input type="checkbox"/> Final Gas Hook Up

APPROVAL SIGNATURE



Syreeta Slaphey, Permit Technician

VGB-2008 Compliant Fiberglass Pool Drain

experience... **CMP**



25215-00X
25215-00X-003 Cover Only

"X" can be any digit 0-9 to denote color



25215-900
Pressure Test Plug

- 2" Socket
- Cover is 6" Diameter
- Fitting is 2.85" Diameter
- Fits Inside a 3" Hole
- Tested to ASME
A112.19.8-2007
- Open area = 12.88 in²
- Plastic Cover Flow
Rated at 190 GPM



File SA10477

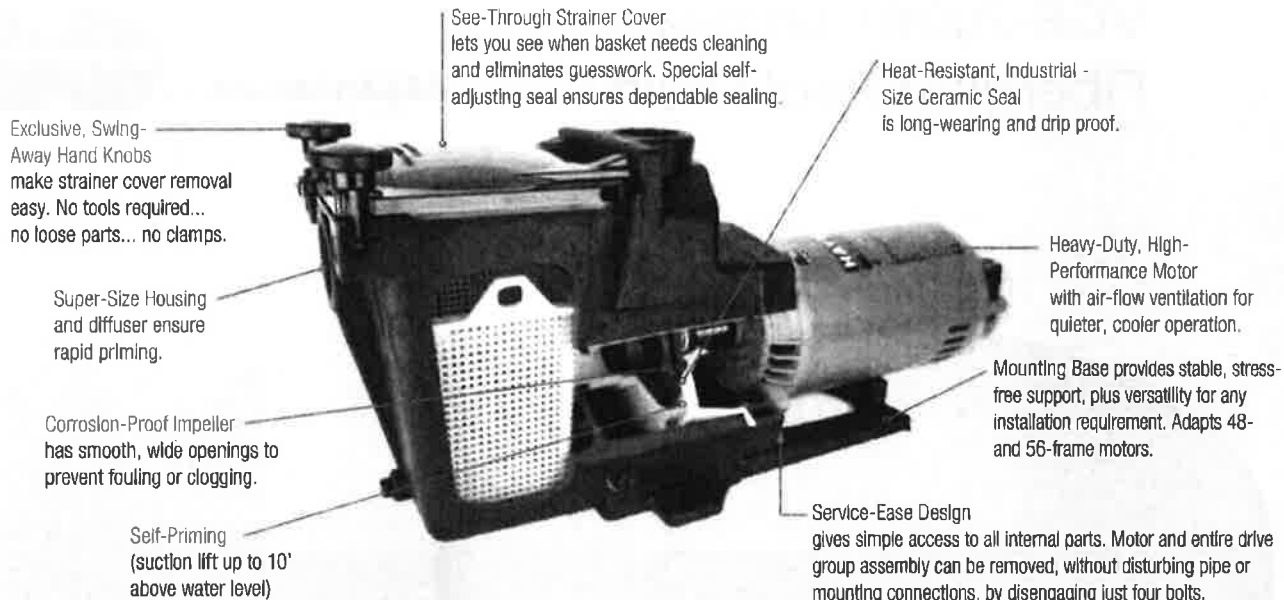


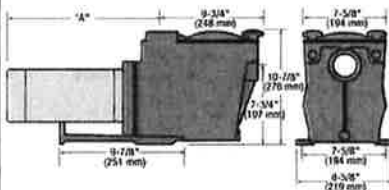
Custom Molded Products, Inc.

Toll Free: 800.733.9060 or visit us online at www.c-m-p.com

Contact us for details about our complete line of pool & spa components!!

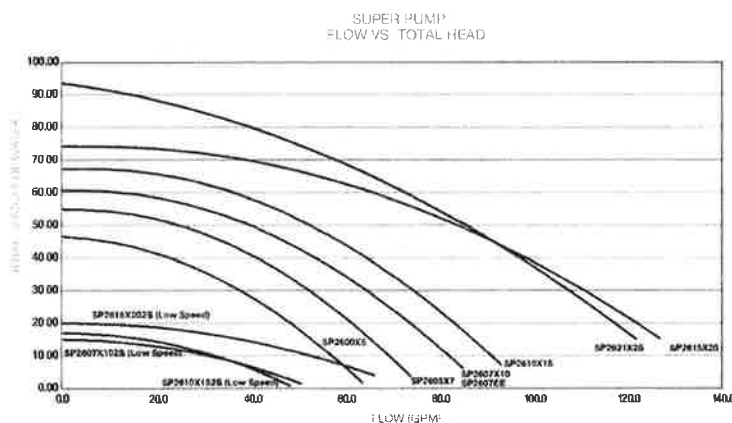




OVERALL DIMENSIONS	MODEL	Horse Power			Pipe Size	Dimension "A"	
		Total HP	HP	Service Factor	inches	inches	mm
	Energy Efficient Full-Rated Single Speed						
	S2607EE	0.99	¾	1.32	1½	15	381
	Standard Efficient Max-Rated Single Speed						
	SP2600X5	0.60	½	1.20	1½	13¼	337
	SP2605X7	0.75	¾	1.00	1½	13¾	352
	SP2607X10	1.10	1	1.10	1½	14¼	362
	SP2610X15	1.50	1½	1.00	1½	15¾	391
	SP2615X20	2.00	2	1.00	2	15¾	403
	SP2621X25	2.50	2½	1.00	2	16¾	416
	Standard Efficient Max-Rated Dual Speed						
	SP2607X102S	1.00	1	1.00	2	13	330
	SP2610X152S	1.50	1½	1.00	2	13¾	349
	SP2615X202S	2.00	2	1.00	2	14¼	362



Super-Size 110-Cubic-Inch Basket has extra leaf-holding capacity and extends time between cleanings. Rigid construction with load-extender ribbing ensures free-flowing operation for heavy debris loads.



Super Pump Series Pumps are listed by:



To take a closer look at Super Pumps or other Hayward products, go to www.haywardpool.com or call 1-888-HAYWARD

Hayward and Super Pump are registered trademarks of Hayward Industries, Inc. © 2011 Hayward Industries, Inc.

HAYWARD
620 Division Street • Elizabeth, NJ 07201

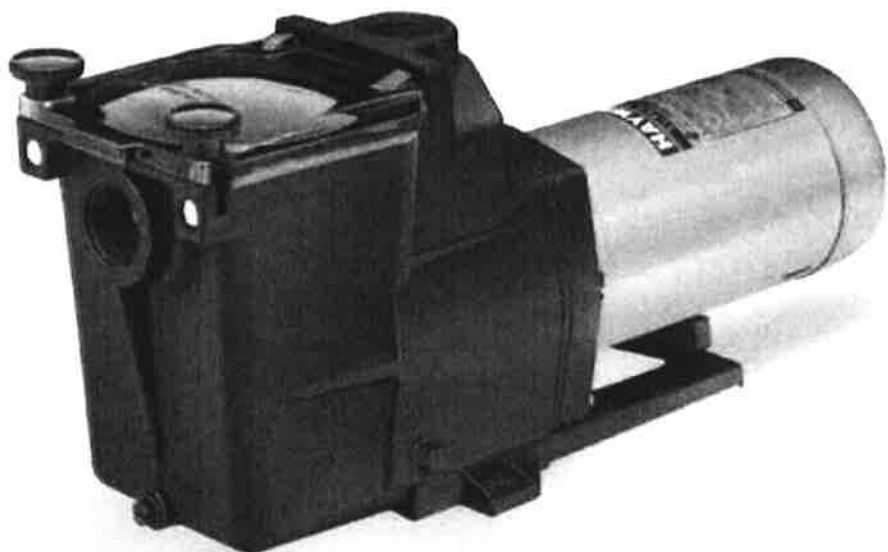
LITSUPER11



Super Pump®

MEDIUM HEAD PUMP SERIES

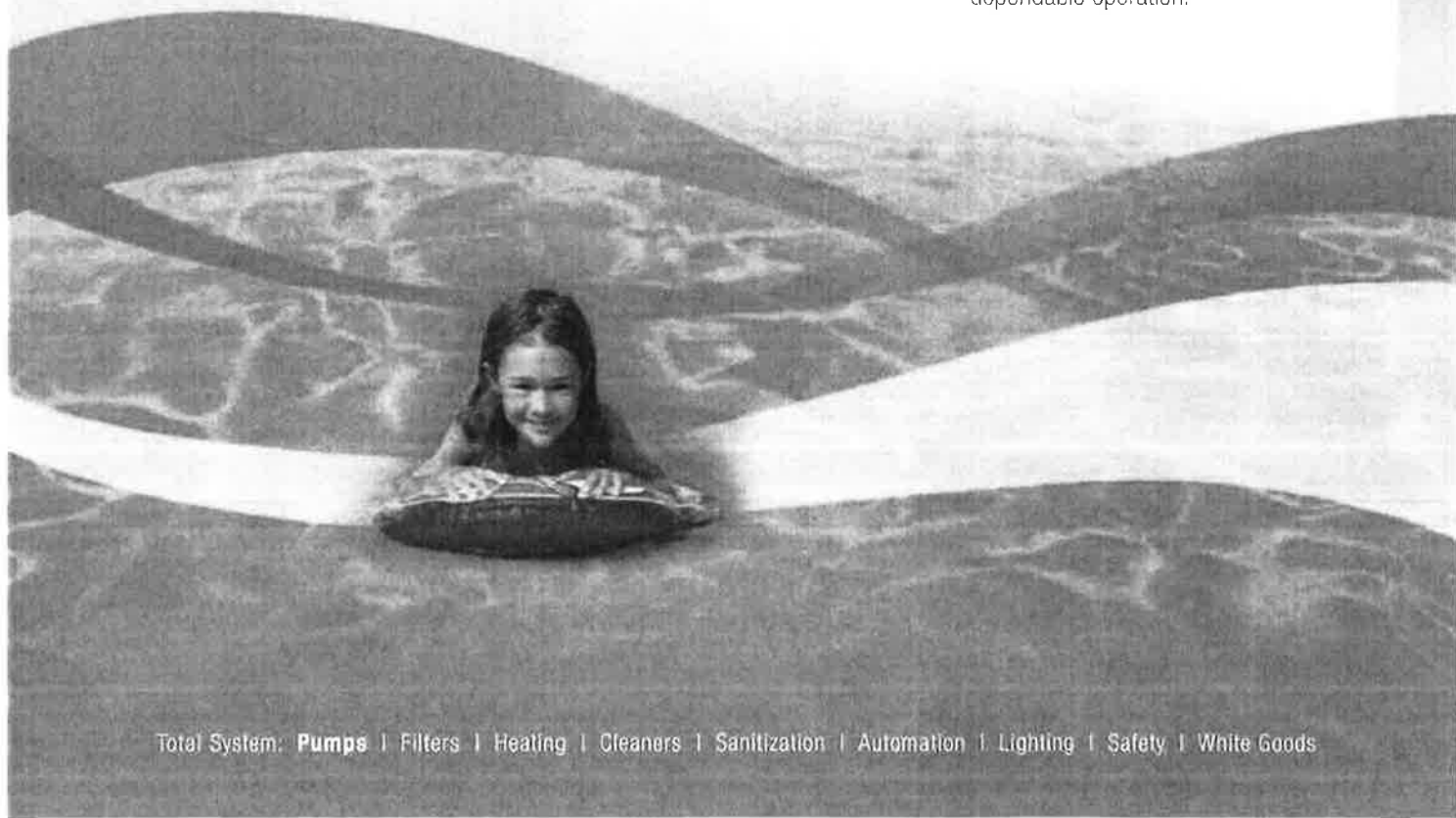
Efficient,
Dependable,
Proven.



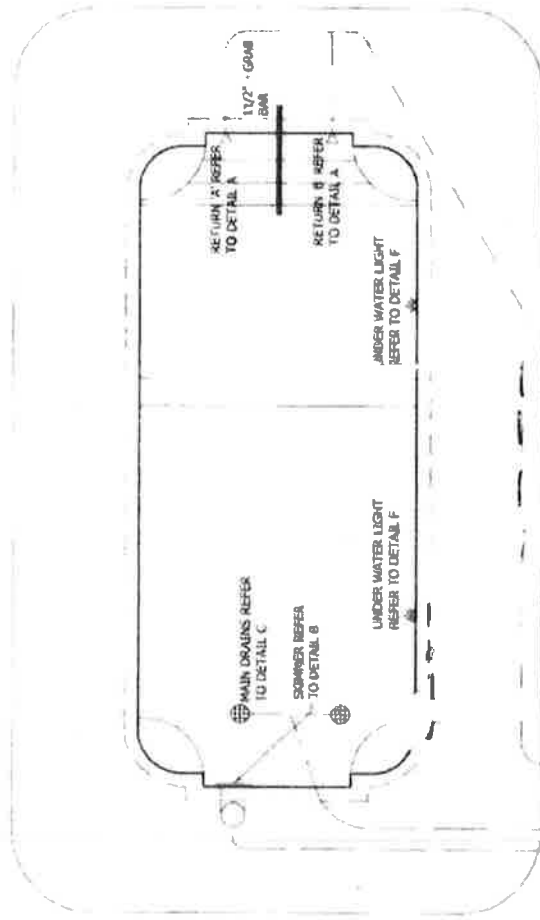
The Hayward® Super Pump series medium head pumps set the standard for excellence and value.

Designed for in-ground pools and spas of all types and sizes, Super Pump features a large see-through strainer cover, super-size debris basket and exclusive service-ease design for extra convenience.

Super Pump combines proven performance with quiet, efficient and dependable operation.



Total System: **Pumps** | Filters | Heating | Cleaners | Sanitization | Automation | Lighting | Safety | White Goods



PIPING PLAN

- 1.) ALL PIPING TO BE 1 1/2" (TYPICAL).
- 2.) REFER TO SITE PLAN FOR EXACT PIPING ROUTING.
- 3.) REFER TO SITE PLAN FOR EXACT DECK CONFIGURATION.


1 1/2" DIAMETER LINES
TO PUMP AND FILTER

1 1/2" DIAMETER LINES
FROM PUMP AND FILTER

PAL-Treo

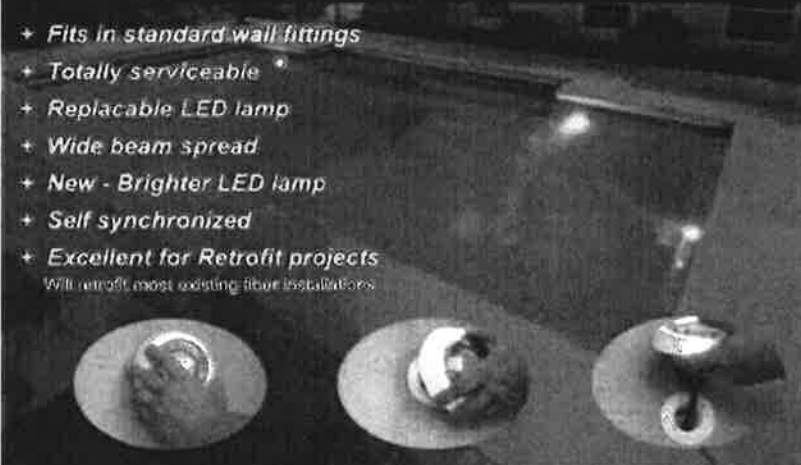

Totally **r**etrofitable **e**ven Glow LED Technology **o**ptics

After listening to what the industry had to say about LED pool lighting systems, we found what was important and built all of these features into our new **PAL-Treo** LED light.



- + Fits in standard wall fittings
- + Totally serviceable
- + Replacable LED lamp
- + Wide beam spread
- + New - Brighter LED lamp
- + Self synchronized
- + Excellent for Retrofit projects

Will retrofit most existing fiber installations

Concrete - **f**iberglass - **V**inyl - **A**ny Pool, **A**ny Time

A Totally Retrofitable Even Glow LED Technology Optic. This soft, evenly distributed light is now possible from the molded prismatic lens design that provides the PAL-Treo with an outstanding illumination eliminating the end shadow effect common with other existing pool lights. The PAL-Treo light is available with a 100,000 hour color change LED array that has six lockable colors and two color change modes. The PAL-Treo will color synchronize with the upcoming 2010 Light Streams series of water features and becomes a key product in the growing family of 12VAC products by Fiberstars. This family of high performance, low power consumption lighting products can be wirelessly controlled by the WPC 12V Power Centers that include the WIRTRAN, WPC1-XXXX-T, WPC2-XXXX-T.

Single Locking Knob

securely fastens filter head to filter tank, eliminating clamps or bolts.

Heavy-Duty Filter Tank

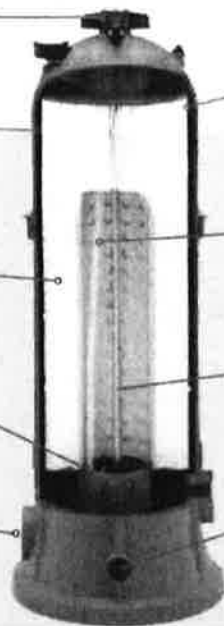
is injection molded of durable glass reinforced copolymer for dependable, corrosion-free performance.

Single-Element Cartridge

is engineered of high-quality reinforced polyester, with gasketed molded end caps, for maximum efficiency, easier cleaning and longer life.

Elevated Filtered Water Collector with Debris Sump prevents accidental bypass of heavy debris to pool or spa when cartridge is removed for cleaning.

1½" or 2" FIP, or 2" SKT Connections (adapters provided on some models) for plumbing versatility.



Filter Head

provides easy access to cartridge element. May be rotated to conveniently position gauge and manual air relief valve.

Automatic Air Purge

purges any trapped air during filter operation.

Precision Engineered Element Core provides extra strength and superior flow.

½" 14 NPSM Filter Drain for fast draining. Also accepts standard spigot valve.

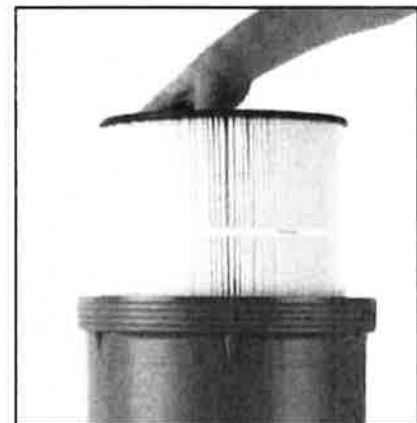
SPECIFICATIONS – STAR-CLEAR PLUS CARTRIDGE FILTERS

FILTER TYPE	Cartridge Element: 75 ft. ² , 90 ft. ² , 120 ft. ² , 150 ft. ² , 175 ft. ² , 200 ft. ² (6.97 m ² , 8.37 m ² , 11.15 m ² , 13.94 m ² , 16.26 m ² , 18.58 m ²)
FILTER TANK	High-Strength, Injection-Molded durable glass reinforced copolymer
FILTER ELEMENT	Reinforced Polyester
PERFORMANCE RANGE	75 to 120 GPM, 284 to 455 LPM
DIMENSIONS	C751-30" H x 13 ¾" W (762 mm x 340 mm) C900-30" H x 13 ¾" W (762 mm x 340 mm) C1200-36" H x 13 ¾" W (914 mm x 340 mm) C1502-36" H x 13 ¾" W (914 mm x 340 mm) C17502-43" H x 13 ¾" W (1,080 mm x 340 mm) C2002-43" H x 13 ¾" W (1,080 mm x 340 mm)

PERFORMANCE DATA

MODEL NUMBER	EFFECTIVE FILTRATION AREA		DESIGN FLOW RATE*		TURNOVER			
					GALLONS		KILOLITERS	
	ft. ²	m ²	GPM	LPM	8 hrs.	10 hrs.	8 hrs.	10 hrs.
RESIDENTIAL								
C751	75	6.97	75	284	36,000	45,000	136	171
C900	90	8.36	90	341	43,200	54,000	164	205
C1200	120	11.15	120	455	57,600	72,000	455	273
C1502	150	13.94	120	455	57,600	72,000	455	273
C17502	175	16.26	120	455	57,600	72,000	455	273
C2002	200	18.58	120	455	57,600	72,000	455	273
PUBLIC								
C751	75	6.97	28	107	13,500	16,875	51	64
C900	90	8.36	34	128	16,200	20,250	61	77
C1200	120	11.15	45	171	21,600	27,000	82	102
C1502	150	13.94	56	213	26,880	33,600	102	128
C17502	175	16.26	66	249	31,680	39,600	120	150
C2002	200	18.58	75	284	36,000	45,000	136	170

*Determined by pump size and piping system hydraulics; 2" piping is recommended for flow rates of 90 GPM (341 LPM).
Public Design Flow rates based on .375 GPM/ft. (15.26 LPM/m).



Easy-to-clean cartridge elements
Hayward cartridges have extra dirt-holding capacity and are engineered of durable, high-quality materials to last for years with only minimal care. Simply remove the cartridge element and hose off with Hayward's EC2024 Jet-Action Cleaning Wand to restore the filter to clean operating condition.



To take a closer look at Hayward Filters, or other Hayward products go to
www.hayward.com or call **1-888-HAYWARD**.



Star-Clear™ Plus

CARTRIDGE FILTERS

Star-Clear Plus filters from Hayward® deliver quality, value and convenience in cartridge filtration. From precision engineering to its durable glass reinforced copolymer body, Star-Clear Plus filters work harder, achieving maximum water flow and superior filtration with minimal maintenance necessary.

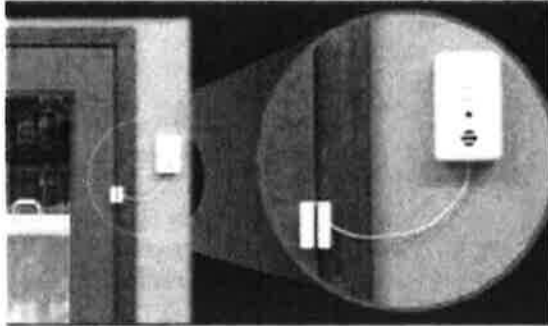
Trust Star-Clear Plus filters to perform in the most demanding applications and environmental conditions. Thanks to its larger filtration element, it utilizes a greater effective filtration area than cartridge filters of similar size and price range. For greater performance, higher efficiency and crystal clear results, step up to Star-Clear Plus.

FILTERS

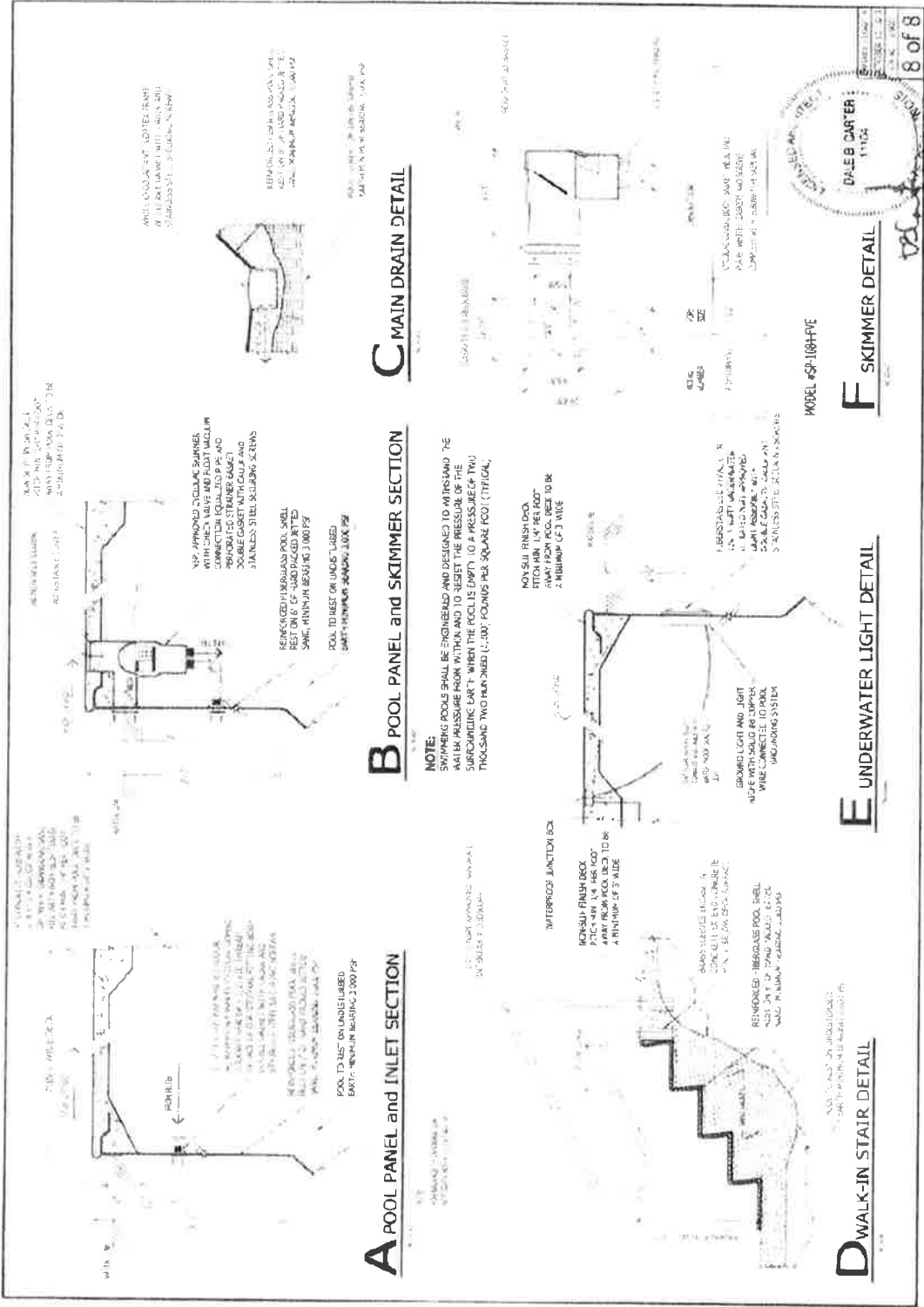


Total System: Pumps | **Filters** | Heating | Cleaners | Sanitization | Automation | Lighting | Safety | White Goods

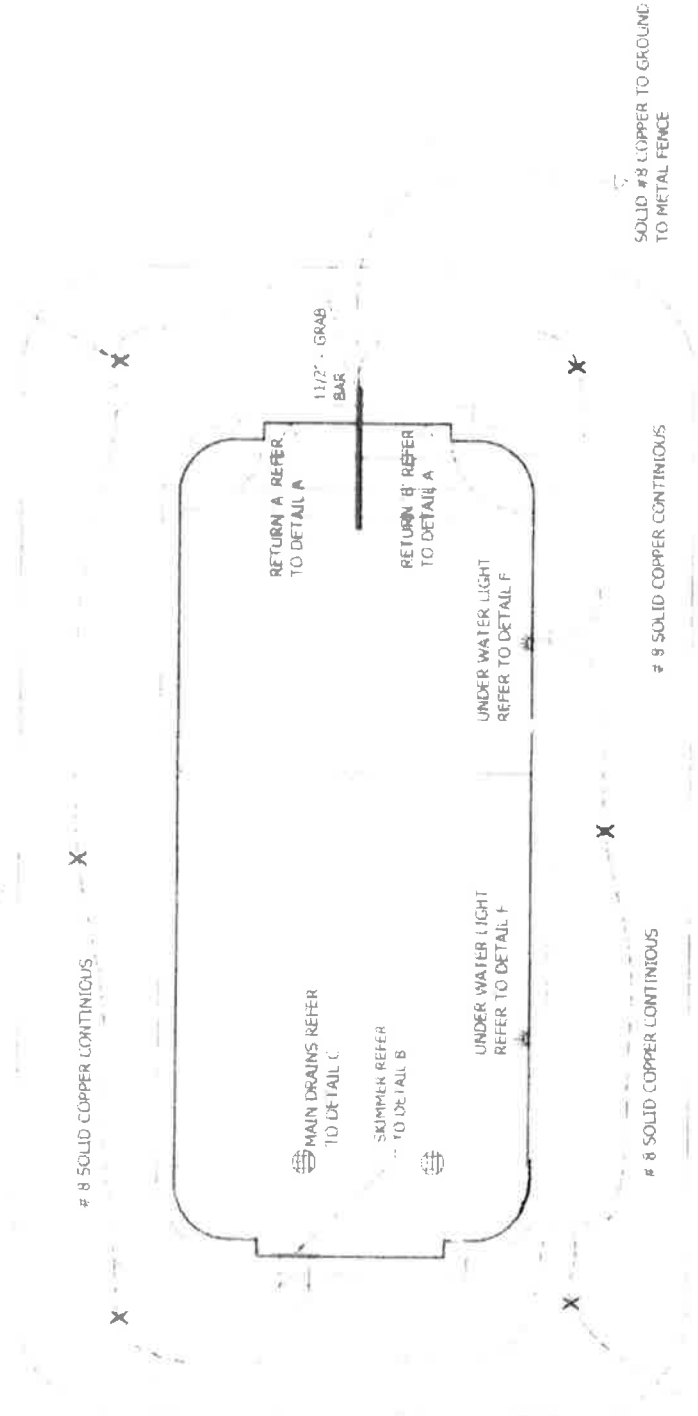
Door Alarms



- UL Listed to UL 2017
- Important Safety Feature
- Complies With Building Codes
- Simple To Operate
- Automatic Reset
- Battery Powered
- Easy To Install
- 85 dB Horn At 10 Feet
- Pass Through Feature For Adults
- Low Battery Indicator
- The Door Alarm will sound in 7 seconds when a child opens the door, and the alarm will continue to sound until an adult comes to the door and resets the alarm.
- Poolguard Door Alarm will sound in 7 seconds even if a child goes through the door and closes it behind them.
- The Door Alarm is always on and will automatically reset under all conditions.
- Poolguard Door Alarm is equipped with an adult pass through feature that will allow adults to go through the door without the alarm sounding.
- Optional screen door kits can be purchased for the alarm, this kit allows you to get air through your screen door without the alarm sounding.
- Poolguard Door Alarm uses one 9-volt battery, (not included) with a battery life of approximately 1 year.
- The Door Alarm is equipped with a low battery indicator that will audibly alert you when your battery is getting low.
- Poolguard is the only door alarm that is UL listed under UL 2017 for water hazard entrance alarm equipment.



GROUND REINFORCING STEEL
WITH PRESSURE CONNECTION
AND # 8 SOLID COPPER (CONT.)
MINIMUM OF (6) LOCATIONS

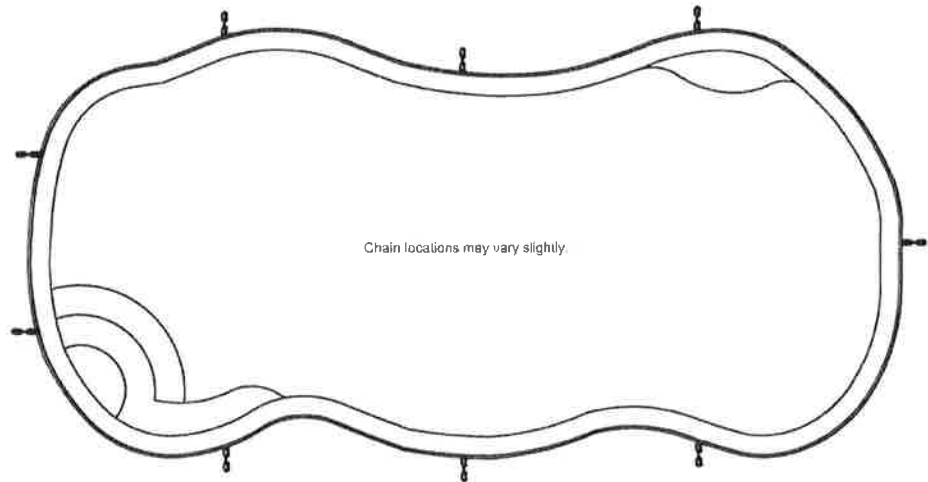


ELECTRICAL GROUNDING PLAN

ALL SWIMMING POOL PARTS, FITTINGS, RAILINGS, PIPING REINFORCING IN POOL AREA AND DECK, ALL POOL EQUIPMENT METALLIC ANCHORS, ETC. SHALL BE GROUNDED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE ALL BONDING CONDUCTORS SHALL BE COPPER MIN. #8 AWG. ELECTRICAL CONTRACTOR SHALL PERFORM ALL BONDING AND GROUNDING AND SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE NEC. NO CURRENT CARRYING CONDUCTORS, EITHER OVERHEAD OR UNDERGROUND, SHALL BE WITHIN 15 FEET OF THE POOL'S WATER'S EDGE. ALL BELOW GRADE CONDUIT SHALL BE HEAVY WALL METALLIC CONDUIT WITH APPROPRIATE FITS

SOLID #8 COPPER TO GROUND
PUMP AND HEATER

**Figure 12 -
Chain Locations**

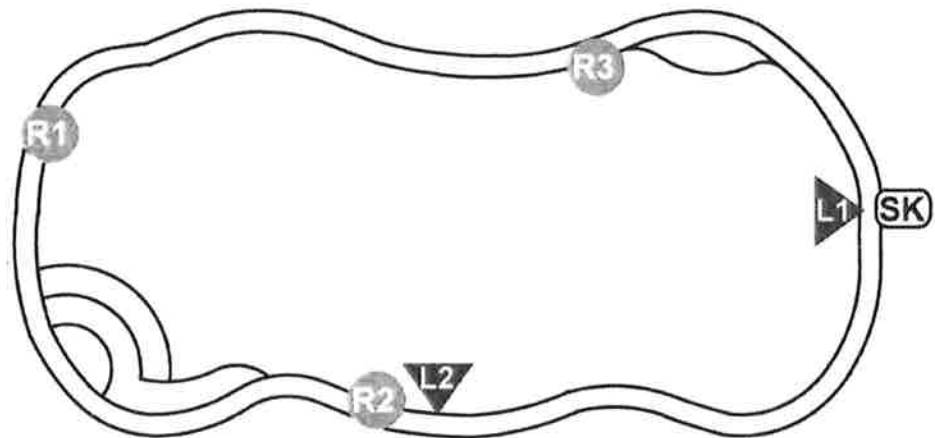


POOL LIFTING NOTE:

1. When being lifted from the trailer and/or set in the excavated installation site, four (4) 20' straps should be used. The 4 straps should be connected to a common lift point, typically the ball of the crane.

**Figure 13 -
Standard Fitting
Locations**

<u>Legend:</u>	
SK	- Skimmer
R	- Return Fitting
L	- Light
OS	- Optional Skimmer Location for Auto Cover Bundle



Drawing denotes approximate standard outfitting locations. Additional fittings and custom outfitting not shown.

WARNING TO THE BUYER

The pool is designed to be kept full at all times. The shell can be damaged if the water level is allowed to drop below the skimmer. When appreciable draw-down is noticed, or if it becomes necessary to drain the pool, contact Latham Pool Products, or their agents for instructions. The pool shell may be damaged and separation from the concrete may occur if the pool is allowed to overflow or if heavy water drainage is allowed to over-run the deck to pool shell connection. Keep the water level in the middle of the skimmer. Latham Pool Products will not be held responsible for any unforeseen problems or circumstances which arise from inadequate site drainage or incorrect deck installation. Refer to the Latham Warranty for conditions, circumstances, or installation practices that may void the pool's warranty.

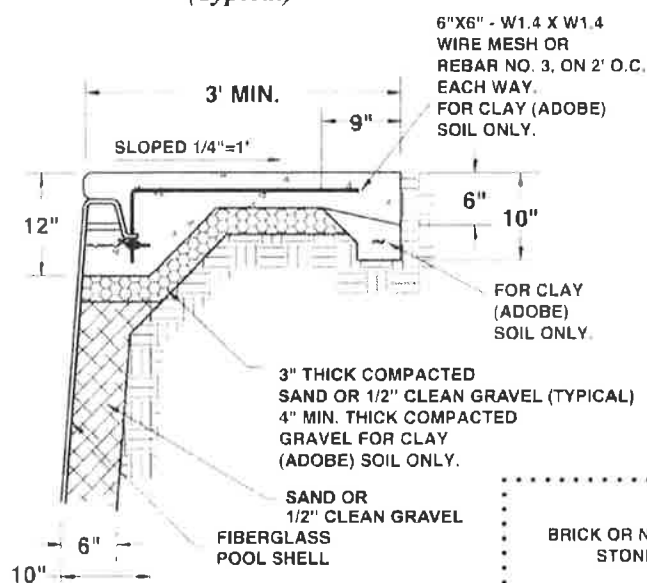
Step 10. POURING CONCRETE

A standard cantilevered deck, as shown in Figure 9, requires that forms be placed on the inside perimeter of the pool. These forms are attached to the pool beam using double-sided tape. The forms are then held in place using supplied wire ties and screws. Cantilever forms are typically installed on the same day of the concrete pour. The backfill should be removed from the top 8 inches around the pool perimeter to a width of approximately 10 inches. In areas of sandy soil conditions, the material is typically removed just prior to pouring the deck. Care should be taken that the concrete is worked into the area under the beam of the shell so that air voids are minimized. If desired, $\frac{3}{4}$ " holes may be drilled every 36" to aid bleeding air. Rebar or wire mesh should be used in the concrete deck. For decks using pavers, as shown in Figure 10, the concrete deck should be poured up to approximately $\frac{1}{4}$ " of the top of the pool coping. Deck should fall $\frac{1}{4}$ " per 12 inches of horizontal deck to allow any surface water to be drained away from the pool.

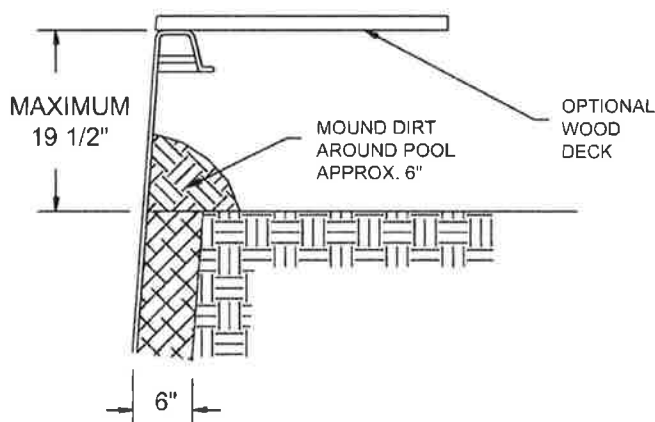
Half inch holes may be drilled into the lip of the pool every 3'. Two foot lengths of $\frac{3}{8}$ " rebar are placed in each hole and bent at 90 degree angles (see Figures 9 and 10). This will ensure a bonding or anchoring effect on the sides of the pool. The walkway may also be reinforced with 6" No. 10 wire mesh or No. 3 rebar on 2' centers (see Figures 9 and 10). Concrete should be poured at least 3' around the perimeter of the pool and at least 4" thick. Latham will not be held responsible for any concrete work or cracks that may result from its use.

In northern climates 6"-8" of $\frac{1}{2}$ " clean gravel is recommended under the concrete deck.

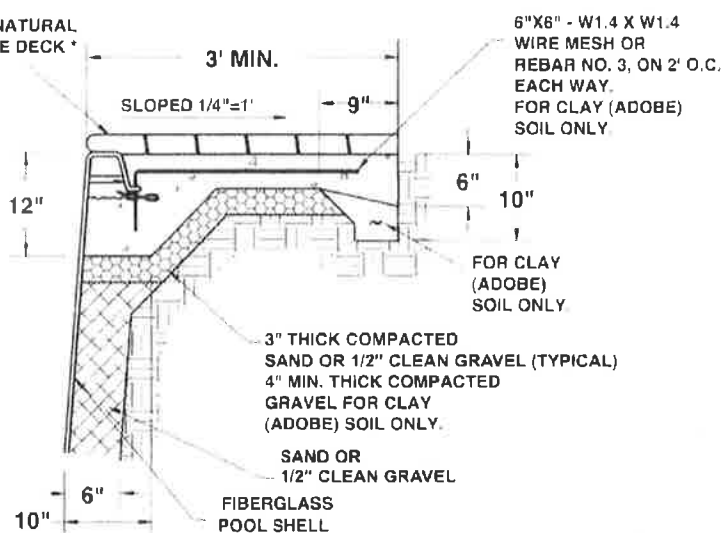
**Figure 9 -
Cantilever Concrete Deck
(Typical)**



**Figure 11 -
Partial Above Ground Installation (Typical)
(Only for pools 12' wide and under)**



**Figure 10 -
Concrete Deck with
Brick or Stone**



Blocking the steps is performed after the pool shell has been set within level and water reaches the tread of the next to last step tread (2nd from floor). When installing CMU piers, start by placing a 1-1/2" capstone block on the base material. On top of the capstone block, stack CMU's (cinder blocks) until they reach a point just under the step or ledge locations designated in Figure 4. Since the step area of the pool shell is often lower than the rest of the shell, jack the step package up using a bottle jack and a section of 2" x 6" lumber under the outside radius of the top step (where the top tread meets the top riser). Jack the steps to be level with the rest of the beam of the shell. Shim the gap between the top CMU and the bottom of the tread/riser radius with another capstone block and/or 1/4" concrete backer board. When the bottle jack is released, the pool shell should be within 1/2" of level around the entire perimeter of the shell with tile preinstalled, or 1" of level if tile is to be install later during the installation. Bottle jacks should be removed from the job site once the piers are in place. **Do not leave bottle jacks or organic material, such as wood under the pool shell for support.** Properly placed piers should be 1/2 under the step of the shell, with the remaining portion of the top block/shim remaining outside the step/riser tread (See Figure 7 for detailed drawing of properly placed piers). **Do not place piers completely under the top step or tanning ledge (swimout) as stress will be transferred to the radius between the horizontal and vertical surfaces, resulting in stress fractures.**

This pool does not require annual draining for service. If draining is ever required, the owner, or their agents, must first receive written permission and instructions from Latham Pool Products. Damage caused due to the water being drained below the level of the skimmer inlet is specifically excluded from the Latham warranty.

Step 8. PLUMBING

A basic swimming pool circulation system is relatively simple in operation. Water in the pool is drawn through the skimmer to the pump, which pushes it through the filter back to the pool via the returns. See Figure 8 for a basic filtering system diagram. More advanced filtering systems may include sanitizers, jets, blowers, automatic pool cleaners, etc. Latham recommends the use of 2", schedule 40 PVC plumbing on most pools. The plumbing system must be designed to comply with ANSI/APSP-7 STANDARD FOR SUCTION ENTRAPMENT AVOIDANCE IN POOLS AND SPAS (latest revision). Visually inspect and pressure test all plumbing installed at the factory upon the delivery of the pool and during the backfill process.

Latham Pool Products suggests placing the equipment slightly above the elevation of the pool. If the equipment is placed below the water level, check valves or shut off valves must be installed to prevent accidental siphoning of the pool. The equipment becomes less efficient the greater the distance away from the pool. Pipes may now be glued at the equipment pad and circulation of the filtering system may begin. Check all connections for leaks and proper circulation before covering them. Local building codes may require pressure testing of the plumbing system before the installation is complete.

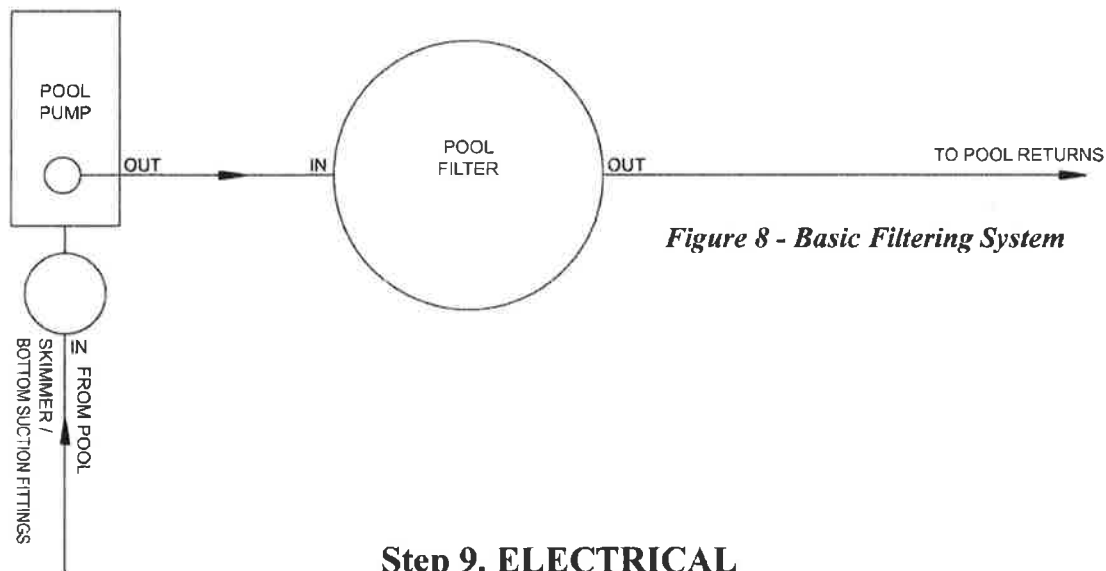


Figure 8 - Basic Filtering System

Step 9. ELECTRICAL

If the installer or homeowner is not qualified to do electrical work, an electrician should be hired and a building official should inspect the work. All electrical work should be done to National Electric Code specifications and any local codes. Latham will not be held responsible for any electrical work.

to make certain that the bottom, perimeter, and all transition points are sitting firmly upon the bed of fill material. The pool can be separated from the lifting equipment when the entire perimeter of the pool (including all transitions) is within 1/2" of level around the entire perimeter of the shell with tile preinstalled, or 1" of level if tile is to be installed later during the installation.

A properly prepared hole should not require the filling of large voids beneath the pool. Blindly adding fill material beneath a pool can cause more harm than good. It is important that any adjustments to the pool's elevation be made before water is added. If the hole was properly prepared, nothing more than a few minor adjustments should be needed.

Step 7. WATER AND BACKFILL

On most pool shells water can be filled to the bottom of the first step with no backfill material against the shell wall. The pool should then be checked to assure it is still level (check EXCAVATION NOTES for specific shell being installed). If the pool shell does not remain level, the water should be completely removed and the bedding material added or removed as necessary to achieve level.

As backfill material is initially placed around the pool shell, care should be taken to ensure that the wall-floor and step-floor radiuses are tightly packed with fill material. Once the pool shell is "locked in," the fill/backfill process can continue. It is very important that the radiuses of the pool are properly and completely compacted. Poorly packed radiuses can result in hairline cracks and/or structural cracks due to deflection. Be sure to backfill slowly and thoroughly.

After approximately 12" of water is in the pool and backfill has been placed evenly, the backfill and water should always be +/- 6" of each other. As the water approaches the shallow end, pay particular attention to all the unsupported areas of the pool. Steps and swimouts tend to droop, so slight adjustments may need to be made with the levering device. Be sure you wait until a sufficient amount of water surrounds the area (usually 12") to keep the rest of the pool in place, or you may raise more than you intend. The walls of the pool may bulge inward if too much backfill has preceded the water in the pool, or outward if too much water precedes the backfill. If bulging does occur during the installation, the only remedy is to dig that area out and proceed correctly. Slight bulging has only visual effects, while not affecting the structure of the pool. A string line is very useful in determining the straightness of the pool walls during the backfilling process.

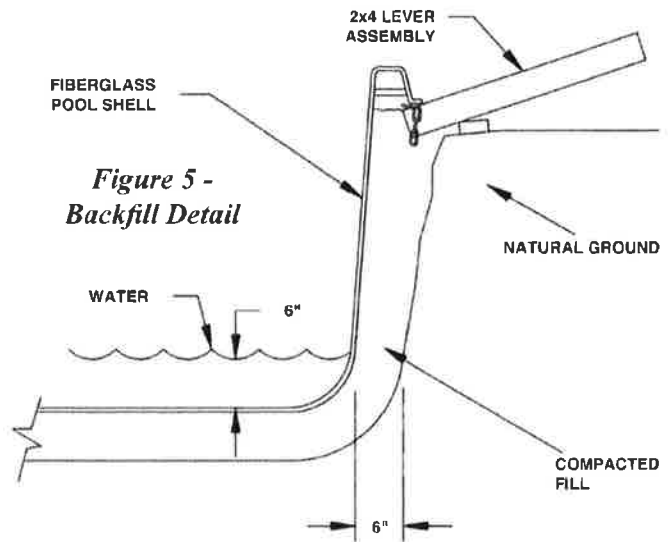


Figure 5 -
Backfill Detail

To mitigate the stress under step, tanning ledges, and some seats potentially induced on the pool shell as a result of backfill settling, Latham recommends either a shallow dig under large steps, tanning ledges, and some seats (Figure 6) or in the event of an over-dig, the installation of concrete masonry unit (CMU) piers placed under the steps, integral tanning ledges and/or swim outs, and some seats may be needed (Figure 7).

Figure 6 -
Minimal Dig Stair Detail

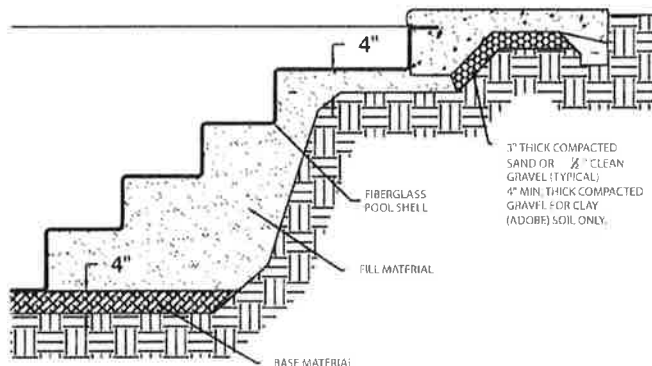
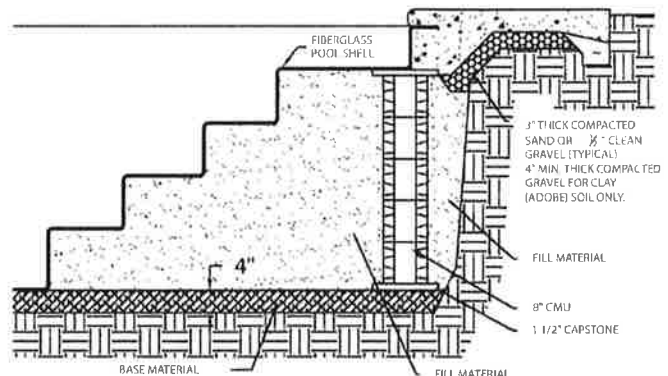


Figure 7 -
CMU Pier Stair Detail



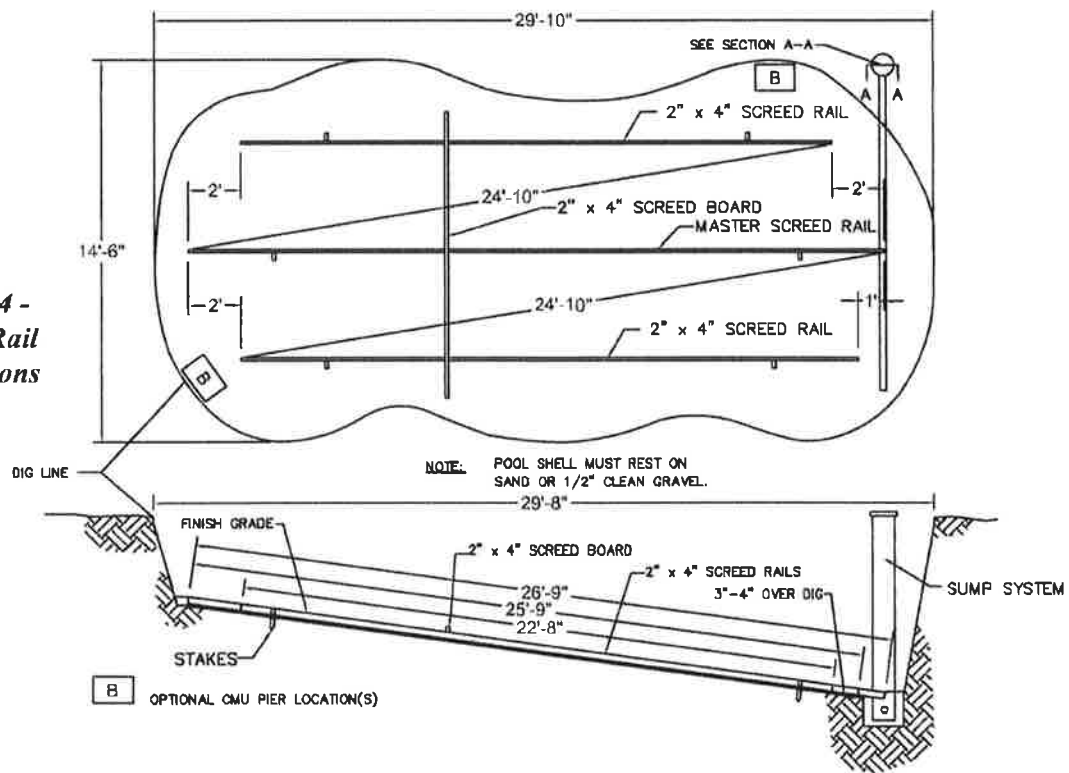
aesthetics and safety. After the connection has been made to the vertical stand of 8" PVC, finish covering the 3" perforated PVC pipe with 1/2" to 1" clean gravel to the bottom of the excavation (see Figure 3). The bottom of the excavation is now ready for approximately 4" of base material.

Step 5. PREPARATION OF THE BOTTOM SURFACE OF THE EXCAVATION

The preparation of the excavation bottom is critical so the pool will fit properly. Thorough preparation will eliminate settling, stress cracks and a minimum of time will be spent setting the pool.

First, install the 2" x 4" master screed rail(s) length wise in the excavation, using wood or metal stakes (See Figure 4). Make sure the diagonal measurement is exact to insure that the bottom is square. Adjust the master screed rail(s) to the appropriate height using a transit level (See Figure 2). Next, install the remaining screed rail(s) parallel to the master screed rail(s) using the offset dimensions as shown in Figure 4 and making sure that they are perfectly level to the Master screed rail(s) to insure that the bottom is square. Next, spread a layer of fill material approximately 4" deep evenly over the bottom of the excavation. Rake the fill material flat to the top of the screed rails (See Figure 3). Compaction of the fill material is generally achieved by screeding it into place, but depths of greater than 4" will require use of a plate tamper. Rake and compact the area several times. Screed the bottom of the excavation, filling any low spots as you go. Remove the screed rails and fill in the voids with fill material, being careful not to disturb the fill.

**Figure 4 -
Screed Rail
Dimensions**



Step 6. SETTING THE POOL

Upon arrival/delivery of your pool shell, be sure to inspect the pool for damage that may have occurred during transportation and for conformity to order specifications. The recommended method of setting the pool shell is by making use of a crane or boom truck. A track-mounted excavator can be used to lower the pool into the excavation, but directions should be obtained from Latham prior to setting the shell. Please note that Latham recommends lifting all pool models over 12' wide with a spreader bar and 20' lifting straps. Once the pool is set in the excavation, the pool should be checked for level and the bottom should be walked over to detect any voids in the fill material that might be present.

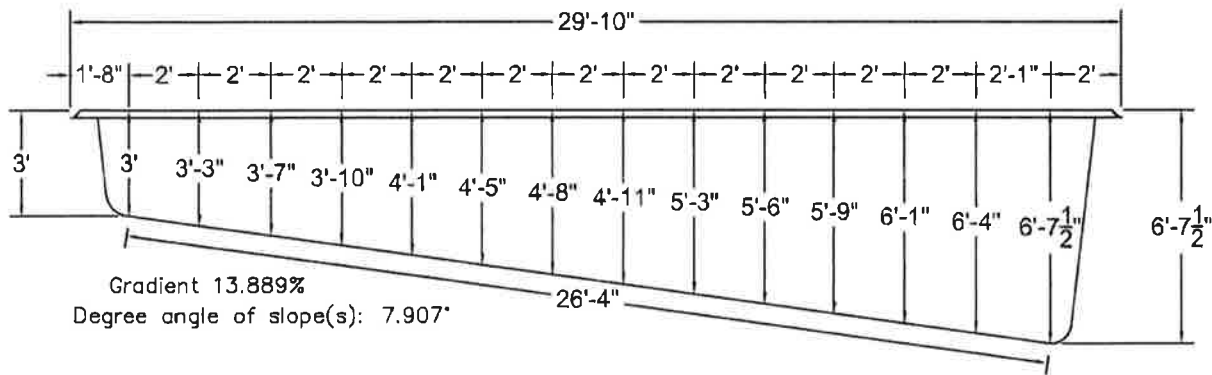
The pool is then lifted and reset as many times as necessary to achieve a "good fit." A good fit is realized by raking the surface of the fill material in order to see where the pool's perimeter is touching (footprint) and by walking around on the inside of the pool to detect low spots. It is normal to feel a slight void under the center of the pool, but walking in the pool should cause the floor to rest on the bed of fill material. The pool shell will conform to the base material under the weight of the water. It is important

Step 4. EXCAVATION

Correct excavation of the pool is very important. A hole that is too small can mean hours of picking and shoveling by hand. A hole that is too large will require extra recommended backfill material, which if not dealt with properly, can result in settling or bulging of the pool.

The excavation should be dug very close to the pool size with a minimum disturbance to the unexcavated soil which will support the pool. The clearance is approximately 6" on the sides and 6" on the ends (see Figure 2).

Figure 2 - Pool Shell Depth Dimensions

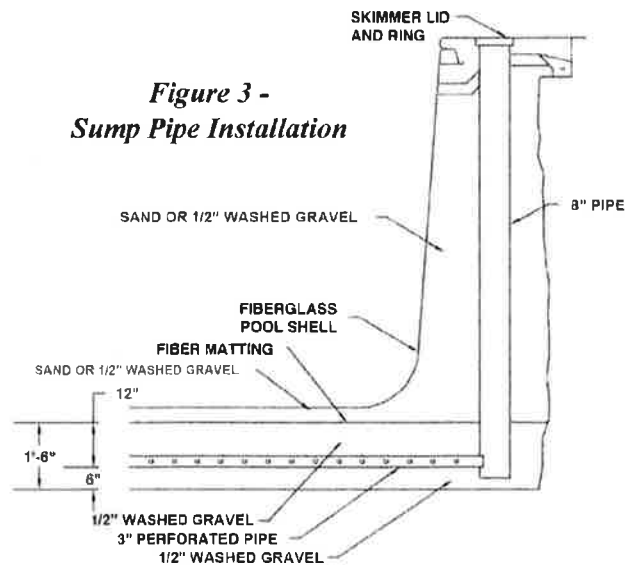


The depth of the excavation is determined with the use of a transit level and grade pole. The bottom of the excavation is over dug approximately 4". This size pool will require approximately 25 to 30 yards of sand or 1/2" clean gravel for backfill (more may be required if the excavation is significantly over-dug).

The excavation should be 14'-6" by 29'-10", with a total depth of approximately 3'-4" (shallow end) to approximately 7' (deep end) from the desired elevation of the pool. It can be helpful to give yourself extra room the first 6" in width and 12" in length of the hole, to get past the coping, and allow space for the skimmer and bottom suction fittings (if any). Also, keep in mind that the wall of our pools are tapered, usually 1" in for every 12" in depth. A place for the skimmer must also be dug in the side of the excavation wall. The skimmer cutout should be 2' by 2' and 3' deep. See Figure 1 for placement. Pools with tanning ledges require the tanning ledge area excavated to the depth stated in Fig. 1 plus 4" for bedding material.

Never use excavated material as fill or backfill in the hole; the material will settle. We suggest sand or 1/2" clean gravel compacted thoroughly (a plate tamper is needed for the pool base). The fill material used for the pool base must also be used to backfill around the sides of the pool shell. In the case of significant over excavation on the sides of the pool or in seasonal high water or poor drainage areas, you may want to mix 10% Portland cement with the backfill for stabilization.

Latham requires that a permanent sump pipe (see Figure 3) be installed on all pools. A gravity fed "daylight drain" is an acceptable alternative to a permanent sump pipe installation. The purpose of the sump pipe installation (or daylight drain) is to provide a means of checking for groundwater around the pool and allow for dewatering the site prior to any work on the pool that requires lowering the water level within the pool shell, thus minimizing potentially high hydrostatic pressure. Latham recommends the installation of a permanent sump pump in areas with a high water table and/or significant ground water. Latham suggests digging an 18" x 8' x 18" trench across the deep end of the excavation. Six inches of 1/2" clean gravel should be placed in the bottom of the trench. A section of 3" perforated PVC pipe is placed on the rock base and connected to a vertical stand of 8" PVC pipe running to the surface of the excavation. Cover the new sump line with landscaping fabric. The 8" PVC riser pipe should be trimmed with a skimmer ring and lid for



INSTALLATION PLANNING GUIDE

Job: _____ Pool: BHBY Date: _____

Finish Grade

* Slope

Top of Concrete at Pool

Thickness of Concrete

Top of Pool

Shallow End Depth

Top of Sand or 1/2" Clean Gravel Shallow End

Thickness of Sand 1/2" Clean Gravel

Top of Dig Shallow End

=
+ 3.5"
=
+ 36" or 3'-0"
=
+ 3.5"
=

Top of Pool

Deep End Depth

Top of Sand 1/2" Clean Gravel Deep End

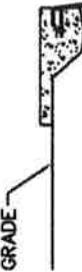
Thickness of Sand 1/2" Clean Gravel

Top of Dig Deep End

+ 79.5" or 6'-7.5"
=
+ 3.5"
=

DISTANCE TO POOL

** FINISH GRADE



UNDISTURBED SOIL

* SLOPE = DISTANCE TO POOL X .25 (1/4")

** IF POOL IS INDEPENDENT OF ANY EXISTING STRUCTURES OR PATIOS, FINISH GRADE IS TO BE 3 1/2" BELOW EDGE OF POOL DECK.

3" - 4" SAND OR 1/2" CLEAN GRAVEL

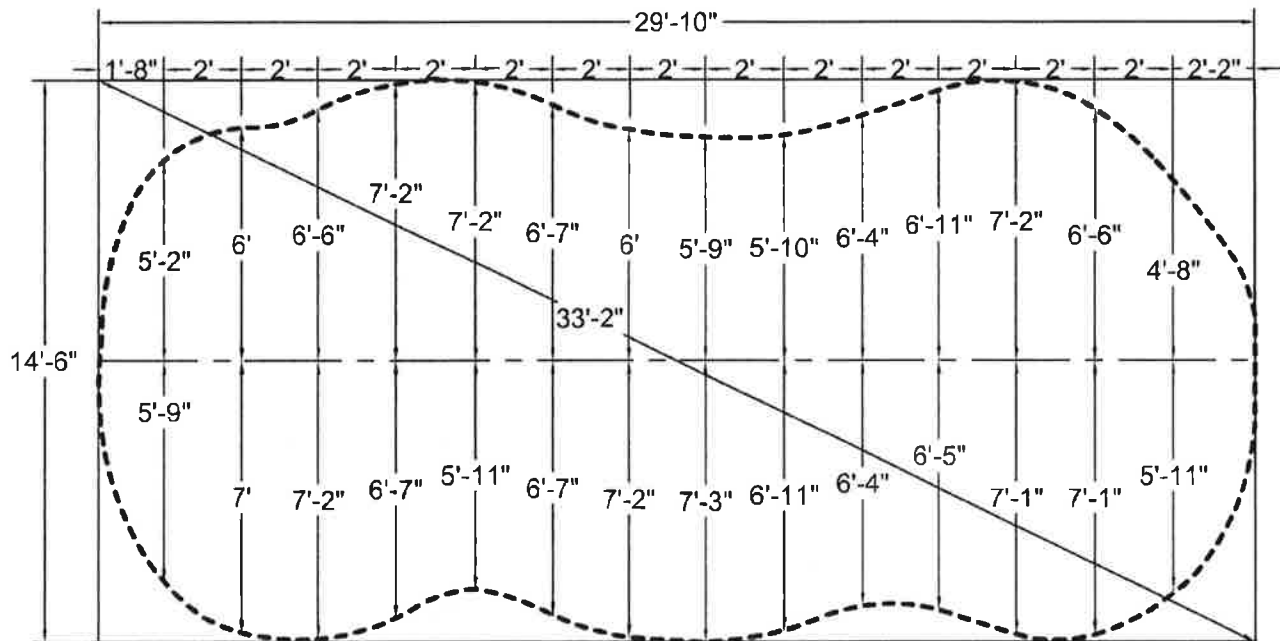
Step 2. POOL LAYOUT

When laying out the pool, note that the dimensions are to the outside edge of the pool beam. Most permit plans are measured to the water's edge. The coping of a Latham fiberglass pool is approximately 4" to 6" on all sides. There is generally a difference of 8" to 12" between the length and width dimensions in the installation guide and those of the permit plans in most cases (see the Latham fiberglass pool specification document for exact inside and outside dimensions for each model). Overall length and width measurements may vary up to 3%. Depending on the customer and the local building inspector, this fact can be a critical consideration. Distances between the water's edge to most property lines, electrical lines, and other structures such as houses, garages, sheds and patios must be exact to plan specifications.

Start by laying out the pool template or with a 14'-6" wide by 29'-10" long rectangle with diagonal measurements of 33'-2". Next, layout the center point, making sure the center lines are at 90 degrees. Stake each point around the perimeter of the pool as shown in Figure 1. Connect each stake with string. Denote the location of the skimmer with a 2'x2' box outside of the pool layout. Use spray paint to follow the contour of the string. The outline will be the shape of the outside dimensions of the pool shell. Remove the string and stakes, leaving only the outline of the pool. Be sure to mark tanning ledge location, if any.

NOTE: Latham Pool Products offers yard templates for each pool model offered. The yard templates are reusable and are the dimensions of the shell. If using a yard template, simply lay the template out in the yard where the pool is to be set and paint a line on the edge of the template.

Figure 1 - Excavation Dimensions



Step 3. ELEVATION

Elevation and grade of the pool area are two of the most often overlooked or miscalculated variables in the installation process. While considering all the variables concerning elevation and grade, always remember that you want water to run away from the pool. Before excavation, use the provided Form I – INSTALLATION PLANNING GUIDE to calculate all critical measurements.

Check the four corners of the pool layout with the aid of a transit level or a sight level to determine the highest corner. This corner will be used in planning the pool elevation of the pool. In a typical installation, the elevation of the pool should be 4-6 inches above the highest point of the existing grade around the pool. However, careful consideration should be given to pool type, size and drainage of the future pool deck, as well as the elevation of the surrounding landscape and existing structures, patios and sidewalks.

LATHAM POOL PRODUCTS, INC. D.B.A.
Blue Hawaiian Fiberglass Pools: Bay Isle
Liberty Composite Pools: Somerset

Step 1. PLANNING FOR THE INSTALLATION

RECOMMENDED TOOLS

1. Hammer
2. Neon nylon string 2 rolls
3. Yard marking spray paint
4. Strap kit (four 20' straps, one 33' strap, one 35' strap, four 2" to 3" shackles [U bolts], one large (4") shackle)
5. Two 2" ratchet straps
6. Laser transit/level
7. 2" duct tape
8. 2 - 50' ropes
9. Sharpie markers
10. A roll of paper towels
11. Shop Rags
12. Bi-metal Hole saws, 2-3/8", 1-1/2", 3", and 5" with centering bit
13. Reciprocating saw (Sawzall) or jig saw with extra 6" bi metal blades
14. Cordless drill (with multiple batteries charged)
15. A drill bit set (with multiple 1/4" bits)
16. Leather Gloves
17. Caulk gun. Optional: auto caulk gun
18. 1 - 35' rigid tape measure
19. 1 - 100' measuring tape
20. Utility Knife
21. PVC cutters that will cut 2" pipe
22. Phillips head screw driver (#2 to tighten skimmer screws)
23. Pen and grade work sheet
24. A box of 2" screws
25. A box of 3" screws
26. Pipe wrench
27. A 4" handheld grinder (for squaring up the skimmer hole and/or flattening the back side of the shell for return fittings and lights - is a must-have in case you accidentally cut through a hook or core location)
28. Shovels, rakes, picks
29. Wheelbarrow
30. Bottle jack
31. Short 2x4's and short 4x6 boards
32. Crane
33. Bobcat
34. Excavator
35. Dump truck
36. Safety fencing
37. Hoses (2)

CONSUMABLE MATERIALS LIST

1. 2 - 4' 2x4's
2. 1 - 10' 2x4
3. 2 - 16' 2x4's
4. Plumbing
 - a. PVC Pipe and Fittings (that comply to FED, State, and Local codes)
 - b. PVC Cleaner and Glue
5. Electrical
 - a. Electrical conduit (pipe, elbows, unions)
 - b. Wire and Hardware (that comply to FED, State, and Local codes)
 - c. Rebar (42 three foot [3'] sticks) or 6"x6" W1.4 x w1.4 Wire Mesh
 - d. Rebar ties with pig tail
6. Pool Equipment
 - a. Pump
 - b. Filter
 - c. Chlorinator (if required)
 - d. Heater (if required)
 - e. Automation (if required)
 - f. Lighting (with transformer)
 - g. Handrail and/or ladder with escutcheons (and concrete anchors)
 - h. Equipment pad or Portland cement and form boards
7. Tile Kit
 - a. Waterline tile, step/seal inlays, inlaid mosaic tiles
 - b. Adhesive and grout for tile with scrubber sponges
 - c. Tile float
 - d. Extra tubes of silicon adhesive/sealant
8. 1/2 inch washed gravel (for pool base and backfill)
9. Forms for concrete
10. Cantilever deck forms (Stegmier / Mortex) (if required)
11. Extra ties for Forms
12. Wood stakes
13. Materials for brick or stone work
14. Materials for concrete deck
15. Materials for pavers

SITE PREPARATION AND PLANNING

In planning for the installation of a new Latham pool, there are many important considerations that must be evaluated in order to achieve a functional, long-lasting and aesthetic addition to a home. When choosing a location, consider the following:

1. Grade: Pools and decks are normally constructed on level ground. Extreme variations in grade should be resolved before the excavation of the pool begins. A relatively level and flat location is preferred so time and effort are not wasted on radical fluctuations in grade.
2. Excavation Equipment Access and Pool Delivery: Determine the most efficient route for equipment to enter and access the site. Also keep in mind that a well-planned route can save time and money by enabling multiple pieces of equipment to work in unison. For example: Coordinate the delivery of the pool with the completion of the excavation and preparation of the hole. Use of a crane with four (4) 20-foot straps is recommended for the process of setting the pool shell in the excavated site. However, if a track excavator was used to prepare the site, in some cases it may also be utilized to unload and set the pool. Contact Latham for specific guidelines for setting pools with excavator equipment. Finally, consider the placement of the equipment. If possible, position the pool equipment so the pool shell can be unloaded and placed directly into the excavation without risking damage to the equipment.
3. Underground Utilities: Check with local authorities for the locations of underground water, gas, power and sewer lines.
4. Overhead Power Lines.
5. Local Building Codes: Determine the setbacks from property lines, easements, house footings, etc.
6. Underground Water Conditions
7. Water Drainage: Water should always drain away from the pool. Failure to keep ground water away from the exterior of the pool may result in damage to the pool that is not covered under warranty.
8. Local Fencing Codes.
9. Location of Pool Equipment.
10. Electrical Run for Pool Equipment.
11. Exposure to Sunlight.
12. Surrounding Foliage.
13. View from Residence.

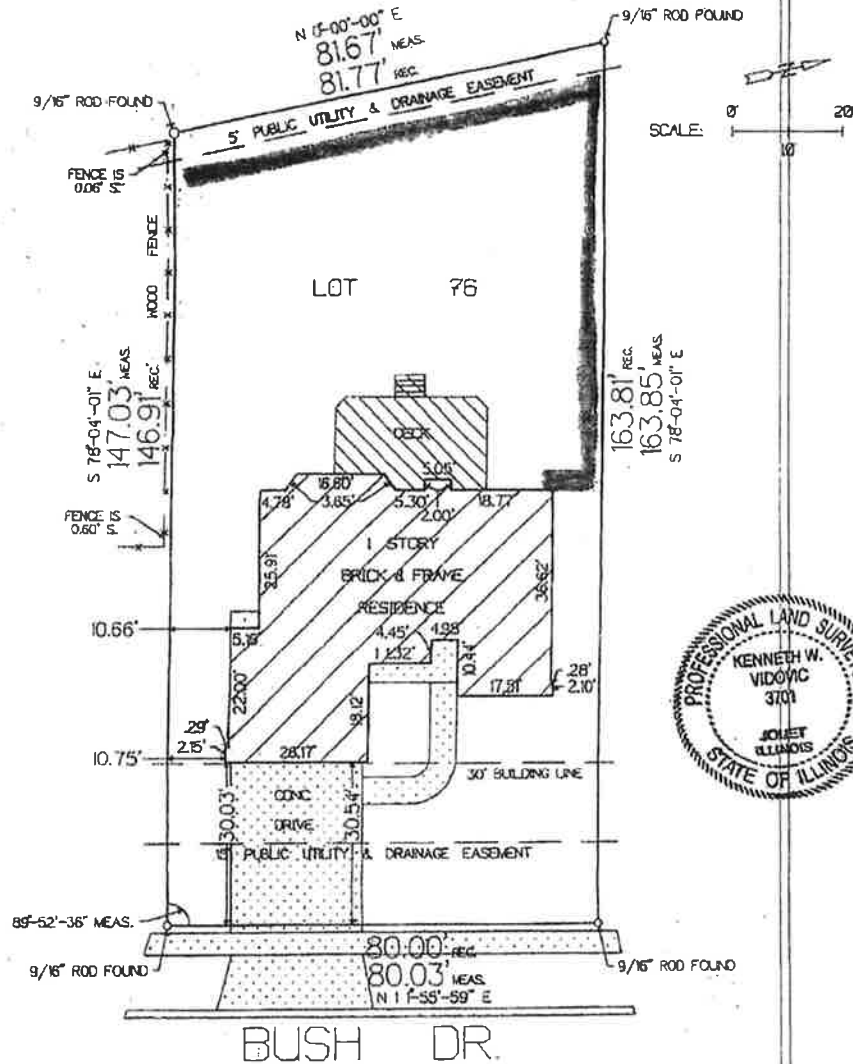
NOTICE:

Failure to read and follow specific instructions contained in this manual will void your pool warranty.

PLAT OF SURVEY

LOT 76, IN WOODLAND ACRES UNIT 5, A SUBDIVISION OF PART OF THE EAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 20, TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 11, 1995 AS DOCUMENT NO. R95-002477, IN WILL COUNTY, ILLINOIS.

137 E. BUSH DRIVE
ELWOOD, IL



COMMUNITY SURVEY INC.

68 N. CHICAGO STREET, SUITE 218
JOLIET, IL 60432

(815) 722-9005 (815) 722-9019 - fax

DESIGN FIRM NO. 184-002899

CHECK DEED OR GUARANTEE POLICY FOR BUILDING LINE OR EASEMENT RESTRICTIONS NOT SHOWN ON PLAT OF SURVEY. COMPARE POINTS BEFORE BUILDING.

WE, COMMUNITY SURVEY INC., DO HEREBY CERTIFY THAT WE HAVE SURVEYED FOR JOHN TRYNER UNDER MY HAND AND SEAL THIS 21ST DAY OF JANUARY 2015.

FIELD WORK 1/20/2015

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

SURVEY NUMBER 15-20673

[Signature]

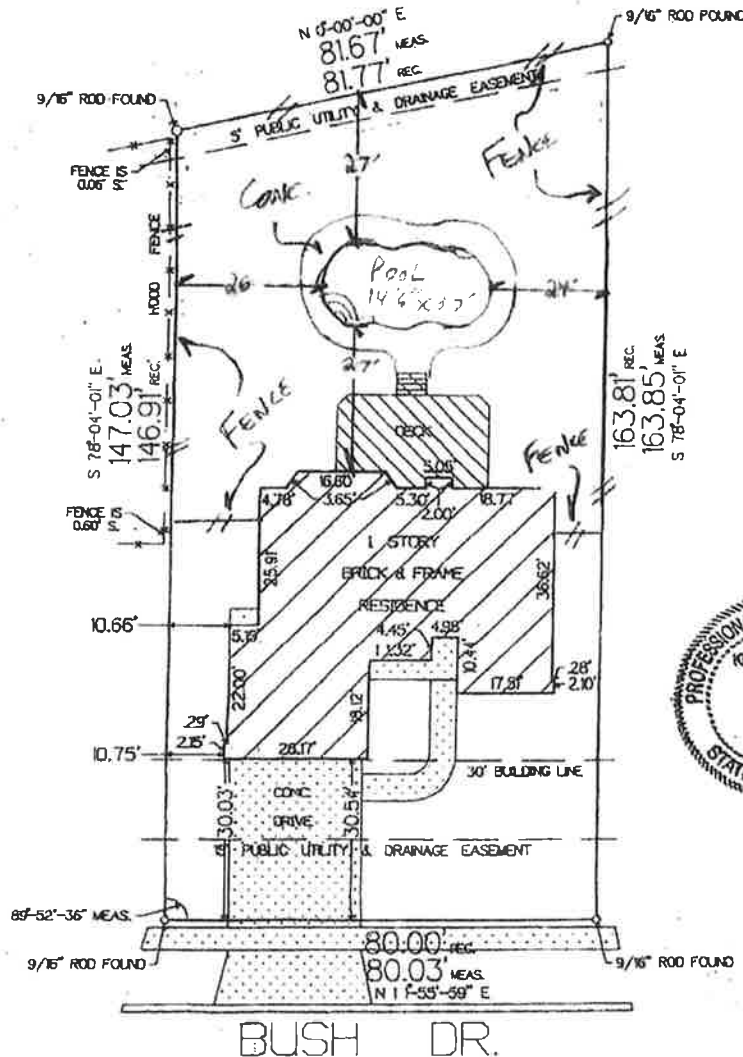
ILLINOIS LAND SURVEYOR NO. 1701

EXPIRES 11/30/2016

PLAT OF SURVEY

LOT 76, IN WOODLAND ACRES UNIT 5, A SUBDIVISION OF PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 28, TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 11, 1995 AS DOCUMENT NO. 895-002477, IN WILL COUNTY, ILLINOIS.

137 E. BUSH DRIVE
ELWOOD, IL.



COMMUNITY SURVEY INC.
68 N. CHICAGO STREET, SUITE 218
JOLIET, IL 60432

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SURVEY NUMBER 15-20673

ILLINOIS LAND SURVEYOR NO. 1701
EXPIRES 11/30/2016

Pre-cast Eqpt. Pad	<u>INC</u>
Automatic Timer <u>110</u> volt	<u>INC</u>
Digital Control Package	<u>INC</u>
Model:	<u>X</u>
Auto Chlorine Tablet Feeder	<u>---</u>
Electric Water Purifier:	<u>---</u>
<input checked="" type="checkbox"/> Salt <input type="checkbox"/> Ozone <input type="checkbox"/> Other	<u>INC</u>
(Inc's \$100 Electrical Allow)	<u>---</u>
Start Up Chemical Kit (3 wk. Supply)	<u>INC</u>
Maintenance Kit	<u>INC</u>
Manual Vacuum Kit	<u>INC</u>
Automatic Vac. Model: <u>NC 23</u>	<u>INC</u>
Stainless Steel Grabrail	<u>INC</u>
Stainless Steel Ladder, 3 Step	<u>---</u>
Cups, Escutcheons, Anchors	<u>INC</u>
Skimmer, Returns, Wall Fittings	<u>INC</u>
All Necessary Water Plumbing	<u>---</u>
from Pool to Eqpt. Pad	<u>INC</u>
Auto Water Filler	<u>X</u>
Supply Line: <input type="checkbox"/> Expert <input type="checkbox"/> Owner	<u>INC</u>
8" Sump Crock w/Lid	<u>---</u>
Floating Solar Cover	<u>INC</u>

<input type="checkbox"/> Top Mount <input type="checkbox"/> Flush Mount	<u>X</u>
• Lid Style	<u>---</u>
<input type="checkbox"/> Top Mount <input type="checkbox"/> Flush Mount	<u>---</u>
<input type="checkbox"/> Walk on	<u>---</u>
• Color of Tracks & Lid	<u>---</u>
<input type="checkbox"/> Aluminum	<u>---</u>
<input type="checkbox"/> Powder Coated:	<u>---</u>
Basic Electrical Hookups	<u>INC</u>
Upgrade Electric Meter (if needed)	<u>Owner</u>
Light System	<u>---</u>
<input type="checkbox"/> White <input checked="" type="checkbox"/> Colored <u>Leb.</u>	<u>---</u>
# of Lights: <u>2</u>	<u>INC</u>
Remote Control For Lights	<u>---</u>
Deck Jets # <u>2</u>	<u>INC</u>
Massage Jets # <u>---</u>	<u>---</u>
6" Band of Tile at Waterline	<u>---</u>
Model: <u>MAA 2 35</u>	<u>INC</u>
Other Tile:	<u>---</u>
Cascading Water Sheet	<u>---</u>
<input type="checkbox"/> 18" <input type="checkbox"/> 24" <input type="checkbox"/> 36"	<u>---</u>

Retention Wall <u>---</u> sq. ft.	<u>---</u>
<input type="checkbox"/> Boulders <input type="checkbox"/> Block	<u>---</u>
<input type="checkbox"/> Other	<u>---</u>
Alarms	<u>---</u>
<input type="checkbox"/> Door # <u>---</u> <input type="checkbox"/> Gate # <u>---</u>	<u>---</u>
<input type="checkbox"/> Pool # <u>---</u>	<u>---</u>
Parts only: Owner to install.	<u>---</u>
Fence Material	<u>---</u>
<input type="checkbox"/> Wood <input type="checkbox"/> Aluminum <input type="checkbox"/> Steel	<u>OWNER</u>
Model: <u>---</u> Height <u>---</u>	<u>---</u>
Color: <u>---</u>	<u>---</u>
Length: <u>---</u> ft.	<u>---</u>
Gates: # <u>---</u> Width: <u>---</u>	<u>---</u>
Upgrade Existing Fence to Meet Code	<u>Owner</u>
Plywood for Access	<u>---</u>
<input type="checkbox"/> No <input type="checkbox"/> Yes	<u>---</u>
# of 4'x8' sheets: <u>---</u>	<u>---</u>
Plastic Construction Fence Around Pool Shell	<u>---</u>
Owner to maintain	<u>---</u>
Rigid Construction Fence (when required)	<u>Owner</u>

*SEE ITEM #10 ON REVERSE SIDE OF CONTRACT

CONTRACT PRICE: \$ 55,000.00 + TAXES: \$ ---

TO BE PAID AS FOLLOWS:

(1) INITIAL DOWN PAYMENT (non-refundable):

(2) 2nd PAYMENT (Due before commencement of bldg. permits):

(3) UPON DELIVERY OF POOL SHELL TO SITE (Certified Funds): \$ 14,500.00

(4) UPON COMPLETION OF ELECTRICAL (50% of Electrical Costs): \$ 26,000.00

(5) UPON COMPLETION OF CONCRETE (50% of concrete Costs): \$ 16,500.00

(6) UPON FINAL CLEANUP OF POOL: \$ 500.00

YOU, THE BUYER, MAY CANCEL THIS TRANSACTION AT ANYTIME PRIOR TO MIDNIGHT OF THE 3rd BUSINESS DAY AFTER THE DATE THIS TRANSACTION IS SIGNED. YOU MUST NOTIFY THE SELLER IN WRITING OF THE INTENT TO CANCEL - SEE REVERSE SIDE FOR COMPLETE TERMS AND CONDITION OF SALE.

BUYER		SELLER	
Buyer: <u>---</u>	Seller: <u>---</u>	By: <u>---</u>	EXPERT POOL BUILDERS
Date: <u>4/24/2017</u>		Authorized By: <u>---</u>	Salesperson
Buyer: <u>---</u>		Date: <u>4-24-17</u>	EXPERT POOLS MANAGEMENT RESERVES THE RIGHT TO VOID ALL CONTRACTS

NOTE: There will be a 5% fee added for credit card use.

GRAND TOTAL: \$ 55,000.00

SEE REVERSE SIDE FOR MORE CONDITIONS AND TERMS



EXPERT POOL BUILDERS
13314 Crane Ridge Drive
Fenton, MI 48430
312-515-4172 248-260-8801
www.expertpoolbuilders.com

RESIDENTIAL POOL

☐ Proposal Good for _____ days
☒ Contract Initials: 9/1

No. 2381

Buyer(s): _____
Current Address: 137 E. Bush Dr.
Elwood, IL 60421
Installation Address (if different): _____
Building Department (if known): SAVING - Village of
County: Will

Today's Date: 4/24/17
Home Phone: _____
Business Phone: _____
Cell Phone: 708-825-4161
Fax Number: _____
Email Address: _____
Email Address: 303telecab.com
Salesperson: _____

NOTE: Contact information is used by Expert Pools and its contractors only.

SPECIFICATIONS of items furnished or installed by Expert Pools if marked in price column.

This package is to be: ☒ Installed ☐ Kit Pool and Supervisor for _____ hours ☐ Parts Only

Item Description	Price
Pool Mfr: <u>Blue Hawaiian</u>	
Model: <u>Bay Isle</u>	
Shell Dimensions: (o.d.) <u>14' x 36'</u>	
Color: <u>larcher blue</u>	<u>43,895</u>
Shell Installation: <u>Outdoor</u> <input type="checkbox"/> Indoor	<u>TAC</u>
Building Permit Allowance* - Shell Only	<u>TAC</u>
Permit Process Fee	<u>TAC</u>
Dig Pool Hole	<u>TAC</u>
Haul Dirt Out	
<u>100</u> % to be hauled out	<u>TAC</u>
<u>100</u> % to be left on site	<u>TAC</u>
Backfill (up to <u>40</u> yds/tons*)	<u>TAC</u>
Extra Fill (_____ yds/tons*)	<u>TAC</u>
Water to Fill Pool (owner to top off)	<u>TAC</u>
Equipment Installation:	
<input checked="" type="checkbox"/> Outdoor <input type="checkbox"/> Indoor	
Pool to Equip. Pad _____ ft.	<u>TAC</u>
Filter Type _____	

Item Description	Price
Solar Cover Reel w/Wheels	
Heater BTU <u>150,000</u>	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane	
<input type="checkbox"/> Electric Heat Pump	
Draft Hood: <input checked="" type="checkbox"/> Outdoor <input type="checkbox"/> Indoor	<u>TAC</u>
Vent Heater/Outside	
Gas Line to Heater (Incs Permit)	
Electrical Line to Heater (Incs Permit)	<u>OWNER</u>
Upgrade Gas Meter (if needed)	
Winter Cover & Bags	<u>TAC</u>
Locking Safety Cover:	
<input type="checkbox"/> Custom Cut <input type="checkbox"/> Rectangle	
<input type="checkbox"/> Vinyl <input type="checkbox"/> Mesh Color _____	<u>X</u>
*Requires 4" Conc Apron	
Solid Vinyl Cover on Tracks	
<input type="checkbox"/> Manual <input type="checkbox"/> Automatic	
<input type="checkbox"/> Drill Operated	
Material Color _____	

Item Description	Price
Slide	
<input type="checkbox"/> Model _____ <input type="checkbox"/> Height _____	
<input type="checkbox"/> Color _____ <input type="checkbox"/> Curve _____	<u>X</u>
<input type="checkbox"/> Parts Only <input type="checkbox"/> Assem. w/water line	
Diving Board / Stand	
Length _____ ft. Color: _____	<u>X</u>
Concrete Apron <u>4' x 6' x 4"</u> sq. ft.	
<input checked="" type="checkbox"/> Broom/Color Dyed <input type="checkbox"/> Stamped	<u>TAC</u>
Other: _____	
Extra Concrete <u>196</u> sq. ft.	<u>TAC</u>
Concrete not warranted in any way.	
Colors and textures vary by batch.	
Paver Bricks _____ sq. ft.	<u>100/50/100/40</u>
Style: _____	
Footings: Length _____ ft.	
Width: _____ in. Depth _____ in.	
Deck Drains _____ ft.	
<input type="checkbox"/> Tan <input type="checkbox"/> White <input type="checkbox"/> Gray	

NOTICE

A certificate of occupancy and compliance must be issued prior to occupancy of all new structures, additions and for change of use.

	FEES		FEES
Building Plan review Fee	\$ 175	Capacity Expansion Fee	\$
Building Permit Fee	\$ 110	Water Meter fee	\$
Building Inspection Fee	\$ 440	Water Tap Fee	\$
Electrical Fee	\$	Sewer Tap Fee	\$
Plumbing Fee	\$	Other	\$
Sign Fee	\$	Other	\$
Certificate of Occupancy	\$	Bond	\$
Village Impact Fee	\$	Total Fee	\$
Park District impact Fee	\$	(minus deposit)	\$
Fire District impact Fee (paid)		BALANCE DUE	\$ 625
School Impact Fee (paid)			

A PERMIT FOR THIS WORK IS HEREBY AUTHORIZED

Building Official



Date

10-2-17

523-17818

Date Received by

Com. Dev. Dept.



Village of Elwood

Established 1989

Proud of our past Building our future.

P.O. Box 435, Elwood, IL 60421

Tel: (815)423-5011 - Fax: (815)423-6861

2017-06-03

Permit Number

10-2-17

Date Issued

APPLICATION FOR BUILDING PERMIT

OWNER

Job Address	137 E. Bush Dr. Elwood, IL	Lot	76
Name		Block	Unit
Address	137 E. Bush Dr.	Sub'd.	
City/Zip	Elwood, IL 60421	Tax No.	
Telephone	708-825-4161 Fax	Zoning	
Project Description	inground pool	Valuation	Sq. Footage

The Village of Elwood requires all contractors and sub-contractors to register with the Village and pay the current registration fee and provide a certificate of insurance and bond requirements. Roofing and plumbing contractors are to provide a State of Illinois license. Electricians are to provide a license.

Architect	N/A	Address		Ph.		Fx.	
General	Expert Pool Builders	Address	13314 Crane Ridge Dr.	Ph.	Fenton, MI	(312) 575-4843	4172
Excavator	same as gen	Address		Ph.		Fx.	
Concrete	same as gen	Address		Ph.		Fx.	
Carpenter	N/A	Address		Ph.		Fx.	
Brick Mason	N/A	Address		Ph.		Fx.	
Plumber	N/A	Address		Ph.		Fx.	
Sewer & Water	N/A	Address		Ph.		Fx.	
Electrician	Mark Trezenberg	Address	1825 114th Ave Mokena, IL 60448	Ph.	(815) 404-0651		
Heating	home owner	Address		Ph.		Fx.	
Roofing	N/A	Address		Ph.		Fx.	
Insulator	N/A	Address		Ph.		Fx.	
Asphalt	N/A	Address		Ph.		Fx.	
Siding	N/A	Address		Ph.		Fx.	
Other		Address		Ph.		Fx.	
Other		Address		Ph.		Fx.	

CONDITIONS OF PERMIT

In consideration of this application and attached forms being made a part thereof and the issuance of permit, I will conform to the regulations set forth in the Village of Elwood codes and ordinances.

I also agree that all work performed under said permit will be in accordance with the plans and specifications which accompany this application, except for such changes as may be authorized or required by the Building Official

All inspections require a MINIMUM 48 hour notice.

Call 815-423-5011

Inspection required prior to placement of concrete.

Applicants required to notify J.U.L.I.E.

Call 1-800/892-0123 prior to digging.

Signature of Agent

Print Name

June 2, 2017

137 E. Bush
Elwood, IL 60421

Building Permit for Installation of an In-Ground Swimming Pool – 137 E. Bush

Permit Number: 2017-06-03

On June 2, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further concerns in regards to the the above ground pool placement or installation.

This letter serves as an approval for in-ground pool installation at 137 E. Bush. Upon payment of the permit fee in the amount of \$625.00, the applicant will be issued a permit which is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 12/02/2017. The following conditions apply to permit approval:

1) Required Inspections:

- | | |
|--|---|
| a. Footer Inspection (Pre Back-Fill) | e. Underground Gas Line Pool Heater (Pre Back-Fill) |
| b. Pool Bonding | f. Final Pool |
| c. Pre-Pour Pool Deck | g. Final Electrical |
| d. Underground Electrical Inspection (Pre Back-Fill) | h. Final Gas Hook Up |

2) The applicant must notify the Village of Elwood when the project is ready for inspection. All inspections require a minimum 48-hour business day notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, I can be reached at (815) 424-1091, or via email at syreeta.slappsey@villageofelwood.com.

Sincerely,



Syreeta Slappsey
Permit Technician

MISCELLANEOUS PLAN REVIEW

Municipality: Village of Elwood

Owner/Occupant: _____ N

Site address: 1311 E. Bush

Applicants name: _____ Applicant's telephone: 708-825 4161

Type of review: in-ground pool installation

B & F Plan Review Project Number: _____

B & F Inspection number: 1349

Municipal permit number: _____

Other dept./consultant approval: _____ ☐ N/A

☒ Comply ☐ Not comply ☐ Comply with notes

Comments: Required inspections

1 Foster inspection - pre-Backfill

2 pool Bonding

3 pre-pool deck

4 underground Electrical - pre-backfill

5 underground Gas Line (pool heater) pre-Backfill

6 Final pool

7 Final Electrical

8 Final Gas hook up

Plan Reviewer: Mike Sharp Date: 5-30-17

Fees: Plan Review: \$ 7500 Inspections: \$ _____

Sheet 1 of 1

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 424-1074 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-06-03

ISSUE DATE: June 2, 2017

EXP. DATE: December 2, 2017

PROPERTY ADDRESS: 137 E. Bush
Elwood, IL 60421

PROPERTY OWNER: _____ n _____

DESCRIPTION OF PERMITTED WORK

Installation of a 14'6"X30' in-ground swimming pool.

CONTRACTOR INFORMATION

Contractor Company: Expert Pool Builders

Main Contact: Gregory Hoover

Phone Number: (312) 515-4172

REQUIRED INSPECTIONS

<input type="checkbox"/> Footer Inspection (Pre Back-Fill)	<input type="checkbox"/> Underground Gas Line Pool Heater (Pre Back-Fill)
<input type="checkbox"/> Pool Bonding Inspection	<input type="checkbox"/> Final Pool Inspection
<input type="checkbox"/> Pre-Pour Pool Deck	<input type="checkbox"/> Final Electrical Inspection
<input type="checkbox"/> Underground Electrical Inspection (Pre Back-Fill)	<input type="checkbox"/> Final Gas Hook Up

APPROVAL SIGNATURE _____

June 2, 2017

137 E. Bush
Elwood, IL 60421

Building Permit for Installation of an In-Ground Swimming Pool – 137 E. Bush

Permit Number: 2017-06-03

On June 2, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further concerns in regards to the the above ground pool placement or installation.

This letter serves as an approval for in-ground pool installation at 137 E. Bush. Upon payment of the permit fee in the amount of \$625.00, the applicant will be issued a permit which is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 12/02/2017. The following conditions apply to permit approval:

1) Required Inspections:

- | | |
|--|---|
| a. Footer Inspection (Pre Back-Fill) | e. Underground Gas Line Pool Heater (Pre Back-Fill) |
| b. Pool Bonding | f. Final Pool |
| c. Pre-Pour Pool Deck | g. Final Electrical |
| d. Underground Electrical Inspection (Pre Back-Fill) | h. Final Gas Hook Up |

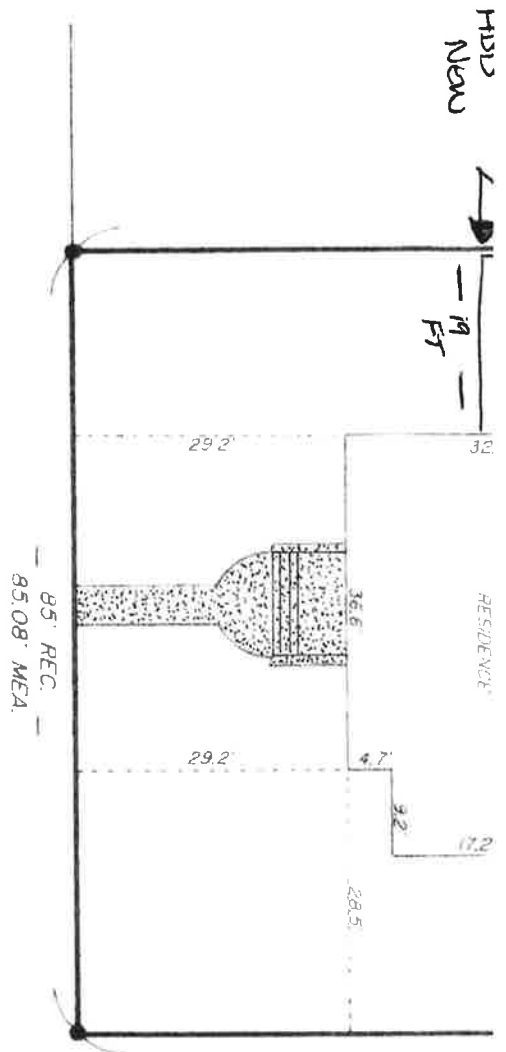
- 2) The applicant must notify the Village of Elwood when the project is ready for inspection. All inspections require a minimum 48-hour business day notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, I can be reached at (815) 424-1091, or via email at syreeta.slappey@villageofelwood.com.

Sincerely,



Syreeta Slappey
Permit Technician



MISSISSIPPI AVENUE

STATE OF ILLINOIS
COUNTY OF WILL

THIS IS TO CERTIFY THAT I, JAMES J. GIBBONS,
AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE
SURVEYED THE PROPERTY DESCRIBED IN THE ABOVE
CAPTION AS SHOWN BY THE ANNEXED PLAT WHICH
IS A TRUE AND CORRECT REPRESENTATION OF SAID
SURVEY.

GIVEN UNDER MY HAND AND SEAL THIS 26TH DAY
OF FEBRUARY, 2003.

JAMES J. GIBBONS
ILLINOIS AND SURVEYOR NO. 2283

ANY DISCREPANCY IN MEASUREMENT DISCOVERED UPON THE GROUNDS
SHOULD BE PROMPTLY REPORTED TO THE SURVEYOR FOR EXPLANATION
OR CORRECTION
FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER
TO YOUR ABSTRACT, DEED, CONTRACTS AND ZONING ORDINANCES

JAMES J. GIBBONS
CIVIL ENGINEER - LAND SURVEYOR
23645 SOUTH VETTER ROAD, ELWOOD, ILLINOIS 60421
PHONE: (815) 723-3250
FAX: (815) 723-3190

LEGEND:
● INDICATES IRON FOUND
○ INDICATES IRON PLACED

MR. TIMOTHY J. MCGRATH
ATTORNEY AT LAW
440 SOUTH STATE STREET
MANHATTAN, ILLINOIS 60442
FILE NUMBER
FB29P07
DRAWING NUMBER
103-018



99 Republic Ave., Joliet, IL 60435 815.741.1635 fax: 815.741.7059

CedarRustic.com

C 33322

Directions:

Proposal Date

Expiration Date

Target Installation Date

Name _____
Address _____
City, State, Zip _____
Job Location _____
Subdivision _____
Township _____ County _____

Home Phone _____
Work Phone _____
Cell Phone _____
Fax _____
Email _____

Legend	Diagram
Terminal Post	
Fence Line	
Existing Fence	
Gate	
Building	
Utility Box	
Tree, Landscaping, Obstacle	
Grade Change	
Asphalt, Concrete Break	
Pool	
Removable Panel	

Customer Responsibility
<input type="checkbox"/> Obtain Permit
<input type="checkbox"/> Homeowners Association Approval
<input type="checkbox"/> Provide Plat of Survey
<input type="checkbox"/> Clear Fence Line
<input type="checkbox"/> Contain Animals
<input type="checkbox"/> Other _____
Initial _____

Job Conditions
Y N New Sod
Y N Freshly Graded Dirt

Diagram: A hand-drawn sketch on a grid showing a property layout with a fence line, a building, and a pool. The sketch is labeled with 'Diagram'.

Customer acknowledges that the fence will follow the natural contours of the property unless otherwise specified in this contract. Under no circumstances is Cedar Rustic responsible for damages to private utilities (including sprinkler line, drain tiles, down spouts, sump lines, private gas, private electric, private water and electric fences) and/or underground items not professionally located by J.U.L.I.E. or Digger companies.

Payment Terms

☐ _____ % down. Balance due to crew chief on day of installation.

☐ _____ % down. Financing terms

Third party financing may be available to qualified applicants. If customer does not complete and return all documents and instruments required by the third party financing upon completion of fence, payment will be due in full to Cedar Rustic.

Payments

Date 5-25-17 cc # 4585894005323534 exp. 1/20 VM D A appr. # 388

Date _____ cc # _____ exp. _____ VM D A appr. # _____

Signed authorizes use of credit card for:

☐ Deposit

☐ Final Payment

☐ Both

Signature _____

Date _____

The undersigned has read each of the provisions on this page, each of the specifications on page 2 and each of the conditions of sale on pages 3 and 4 of this contract, understands the same, and by signing hereafter agrees to each such provision, specification and condition of sale. This proposal becomes a binding and enforceable contract when received by Cedar Rustic either (a) bearing the customer's signature or (b) without signature but accompanied by down payment from the customer as required.

The provisions, specifications and conditions for sale in this Contract are hereby accepted. Payment will be made as set forth above.

Customer

Signature _____

Date _____

Company

Representative _____

Date _____

Grand Total

Deposit

Balance Due

(initial)

(initial)

Check # _____ Amount \$1100

Check # _____ Amount _____

NOTICE

A certificate of occupancy and compliance must be issued prior to occupancy of all new structures, additions and for change of use.

	FEES		FEES
Building Plan review Fee	\$	Capacity Expansion Fee	\$
Building Permit Fee	\$	Water Meter fee	\$
Building Inspection Fee	\$	Water Tap Fee	\$
Electrical Fee	\$	Sewer Tap Fee	\$
Plumbing Fee	\$	Other	\$
Sign Fee	\$	Other	\$
Certificate of Occupancy	\$	Bond	\$
Village Impact Fee	\$	Total Fee	\$
Park District impact Fee	\$	(minus deposit)	\$
Fire District impact Fee (paid)		BALANCE DUE	\$
School Impact Fee (paid)			

A PERMIT FOR THIS WORK IS HEREBY AUTHORIZED

Building Official _____

Date _____

5-26-17 (888)

Date Received by
Com. Dev. Dept.



Village of Elwood

Established 1889

Proud of our past, Building our future.

P.O. Box 435, Elwood, IL 60421

Tel: (815)423-5011 - Fax: (815)423-6861

Permit Number

Date Issued

APPLICATION FOR BUILDING PERMIT

OWNER

Job Address	301 W MISSISSIPPI
Name	
Address	301 W MISSISSIPPI
City/Zip	ELWOOD 60421
Telephone	423-6347 Fax
Project Description	REMOVE OLD FENCE / ADD NEW FENCE

Lot	1 AND 2 (EXCEPT THE WEST 31 FEET)	
Block	17	Unit
Sub'd.	LOT D AND PART OF LOTS B AND C	
Tax No.		
Zoning		
Valuation	3300.00	Sq. Footage
		115

The Village of Elwood requires all contractors and sub-contractors to register with the Village and pay the current registration fee and provide a certificate of insurance and bond requirements. Roofing and plumbing contractors are to provide a State of Illinois license. Electricians are to provide a license.

Architect	Address	Ph.	Fx.
General	Address	Ph.	Fx.
Excavator	Address	Ph.	Fx.
Concrete	Address	Ph.	Fx.
Carpenter	Address	Ph.	Fx.
Brick Mason	Address	Ph.	Fx.
Plumber	Address	Ph.	Fx.
Sewer & Water	Address	Ph.	Fx.
Electrician	Address	Ph.	Fx.
Heating	Address	Ph.	Fx.
Roofing	Address	Ph.	Fx.
Insulator	Address	Ph.	Fx.
Asphalt	Address	Ph.	Fx.
Siding	Address	Ph.	Fx.
Other	Address	Ph.	Fx.
CEPHEE RUSTIC FENCE CO.	99 RENOUE AVE, JOLIET	815-741-1635	815-741-7059
Other	Address	Ph.	Fx.

CONDITIONS OF PERMIT

In consideration of this application and attached forms being made a part thereof and the issuance of permit, I will conform to the regulations set forth in the Village of Elwood codes and ordinances.

I also agree that all work performed under said permit will be in accordance with the plans and specifications which accompany this application, except for such changes as may be authorized or required by the Building Official.

All inspections require a MINIMUM 48 hour notice.

Call 815-423-5011

Inspection required prior to placement of concrete.

Applicants required to notify J.U.L.I.E.

Call 1-800/892-0123 prior to digging.

Signature of Agent

Print Name

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 423-5011 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-06-02

ISSUE DATE: June 1, 2017

EXP. DATE: December 1, 2017

PROPERTY ADDRESS: 301 W. Mississippi Avenue
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Installation of a fence.

CONTRACTOR INFORMATION

Contractor Company: Cedar Rustic Fence Company

Main Contact: Darryl Lab

Phone Number: (815) 741-1635

REQUIRED INSPECTIONS

☐ Post Hole Inspection

☐ Final Fence

APPROVAL SIGNATURE

Syreeta Slappey, Permit Technician



June 1, 2017

301 W. Mississippi Avenue
Elwood, IL 60421

Building Permit for Fence Installation – 301 W. Mississippi Avenue

Permit Number: 2017-06-02

On June 1, 2017, I processed permit application; plans and documentation were examined for the attached proposed project. Based on the review of the submitted documentation, no additional information is required to be submitted for review and authorization.

This letter serves as approval for fence installation at 301 W. Mississippi Avenue as applied for. Upon payment of the permit and inspection fee, in the amount of \$168.00, the applicant will be issued a building permit which is required to be displayed throughout the time of construction. The permit is issued for a period of 6 months, and will expire on 12/01/2017. The following conditions apply to approval:

1. Building Department Review Comments:

- a. The fence cannot be installed closer than 6" to the lot line without written consent from the neighboring property.
- b. If the fence is installed within an easement, the applicant is responsible for removing and replacing the structure in the event access is needed.

2. Required Inspections:

- a. Post Hole Inspection (Before Concrete Pour)
- b. Final Fence

*The applicant must notify the Village of Elwood when the project is ready for each inspection. All inspections require a **minimum 48-hour business day notice** for scheduling purposes.

If you have any questions or comments regarding this permit, or approval conditions, please contact the Village of Elwood.

Sincerely,

Syreeta Slappey
Permit Technician

PLAT OF SURVEY

PARCEL A

THAT PART OF LOT 21; IN MEADOWBROOK, 2nd ADDITION, A SUBDIVISION OF PART OF THE NORTH HALF OF SECTION NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 23, R97-43158; WHICH LIES NORTHWESTERLY OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT ON THE EAST LINE OF SAID LOT 21 WHICH IS 109.09 FEET SOUTHERLY, AS MEASURED ALONG SAID EASTERLY LINE, FROM THE NORTHEAST CORNER OF SAID LOT 21, WHICH IS 109.19 FEET SOUTHERLY, AS MEASURED ALONG SAID EASTERLY LINE, FROM THE NORTHEAST CORNER OF SAID LOT 21, WHICH IS 41.66 FEET SOUTHERLY, AS MEASURED ALONG THE ARC OF SAID SOUTHWESTERLY LINE, FROM THE NORTHWEST CORNER OF SAID LOT 21; IN WILL

PARCEL B

THAT PART OF LOT 21; IN MEADOWBROOK, 2nd ADDITION, A SUBDIVISION OF PART OF THE NORTH HALF OF SECTION NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 23, 1997, AS R97-43158; WHICH LIES SOUTHEASTERLY OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT ON THE EAST LINE OF SAID LOT 21 WHICH IS 109.19 FEET SOUTHERLY, AS MEASURED ALONG SAID EASTERLY LINE, FROM THE NORTHEAST CORNER OF SAID LOT 21, WHICH IS 41.66 FEET SOUTHERLY, AS MEASURED ALONG THE ARC OF SAID SOUTHWESTERLY LINE, FROM THE NORTHWEST CORNER OF SAID LOT 21; IN WILL

ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF AND ARE CORRECT AT 68° FAHRENHEIT.
"O" INDICATES IRONS FOUND "●" INDICATES 9/16" X 30" IRON ROD SET



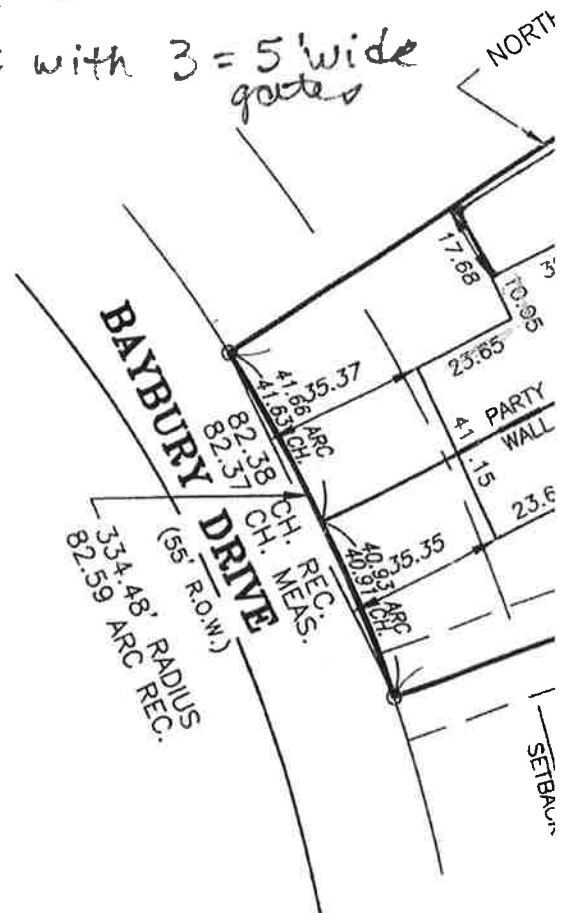
SCALE: 1" = 40'

STATE OF ILLINOIS }
COUNTY OF WILL } SS

I, CHRISTOPHER M. PAPESH, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF ILLINOIS, DO HEREBY CERTIFY THAT I HAVE SURVEYED, STAKED, AND LOCATED THE IMPROVEMENTS ON AND PLATTED THE LAND DESCRIBED IN THE FOREGOING CAPTION AND SHOWN ON THIS PLAT, AND THAT THIS PLAT IS A CORRECT REPRESENTATION THEREOF, DATED AT JOLIET, ILLINOIS THIS

7th DAY OF January, 2002, A.D.


ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3369



BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 424-1074 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-06-01

ISSUE DATE: June 1, 2017

EXP. DATE: December 1, 2017

PROPERTY ADDRESS: 129 Baybury Drive, Unit A
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Install a 27' round above ground swimming pool with 4' Fence in the rear yard.

CONTRACTOR INFORMATION

Contractor Company: S&S Construction Concepts

Main Contact: Barb

Phone Number: (708) 704-4388

REQUIRED INSPECTIONS

☐ Pool Locate Inspection

☐ Final Electrical Inspection

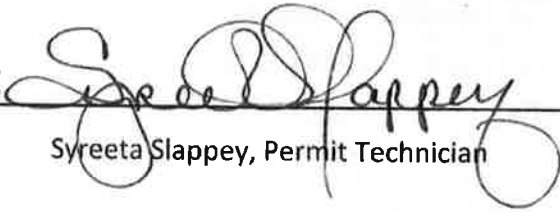
☐ Underground Electrical (before back-fill)

☐ Post-hole Inspection

☐ Final Pool Inspection

☐ Final Fence Inspection

APPROVAL SIGNATURE


Syreeta Slappey, Permit Technician

American Sale Customer Order: 004 0295584 5-15-2017 CASHELBA ORLAND RECEIPT Page 1
Orland Park (708) 460-4595 5/15/2017 18:20:35
Sales Associate: 01175 TL

Unit A
129 Baybury Dr
Elwood

IL 60421

Merchandise 7338.96

Sales Tax 715.55 9.750 %

Home Phone (815) 955-0196 Ext
Work Phone (815) 955-0196 Ext
Day Phone (815) 955-0196 Ext

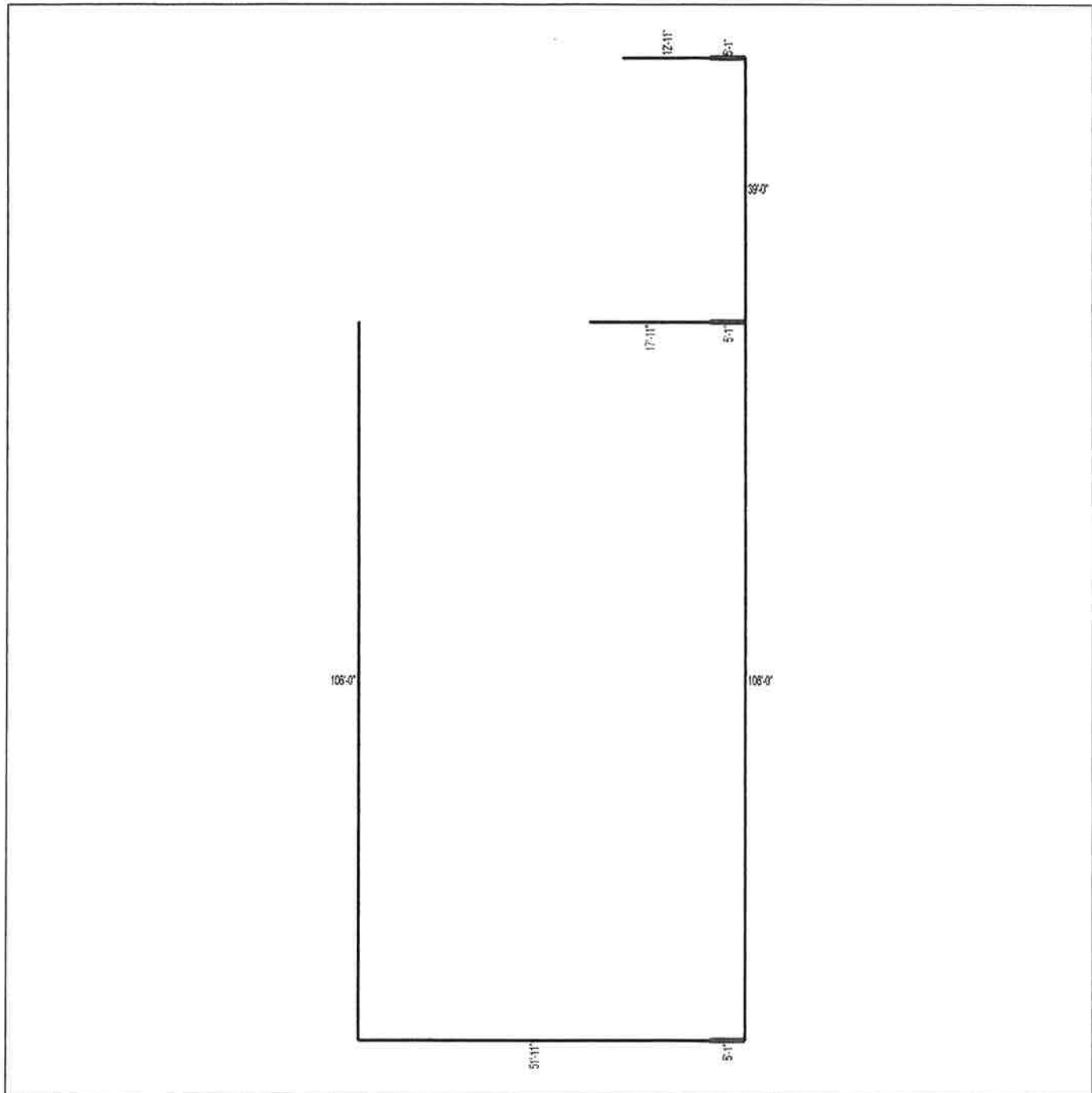
Total 8054.51
Payments 100.00
Balance 7954.51

EMAIL- mnfritz01@gmail.com

Item		Spec	Order	Entered
		Order	Quantity	Price
VOG	BOM 27'x54" Regency	55-451	1	4999.00
SWM	27/54"Liberty J-Hook Liner	216-074	1	
MIW	28'Deluxe Blue/Black Solar Cvr	2-28	1	
WAY	150'1.5HP Filter 2017	FCS15S1527-3RAM	1	
MCC	24" Smart Step System	200700T/200600T	1	
AMS	Select Maint Kit 24'or larger	24-30 RD 15-18 OV	1	
AQP	Pura 4XT Robotic Cleaner	AJET1234XT	1	100.00
	Installation Charge	999-500	1	
	Delivery Charge	999-300	1	
RHE	266K BTU NatGas Electronic Htr	RHM-15-9963	1	1709.99
AMS	Pool Guide Book	POOLGUIDE	1	
HOR	BOM 27'Cove/22	27'COVE/22	1	129.99
HOR	27/28'Line-R-Armor Premium	HV/LA-28	1	249.99
AMS	Bottom Circulation Sys	10890	1	149.99
Order Notes			Date	Time

REQUEST AM DELIVERY, IF NOT AM DELIVERY LEAVE ON BACK PATIO	17:56:08
5 YEAR 0% INTEREST FINANCING	17:56:08
CUSTOMER IS REQUESTING THAT THE INSTALLER CALLS JULIE BECAUSE	17:56:08
JULIE TOLD THEM THEY ARE LIABLE FOR DAMAGES IF THEY SET UP THE	17:56:08
APPOINTMENT RATHER THE INSTALLER	17:56:08

KEEP THIS RECEIPT! Your receipt is necessary for all returns, credits, and warranty service. Returns of over \$100 will be refunded entirely by company check within 15 working days. All chemical sales are final. We can't give refunds on seasonal merchandise after 15 days of purchase, unless otherwise posted. All sales on Christmas items are final as of Dec 17. Credit card or contract sale refunds will be credited to your account. Returned merchandise must be in new condition in original packing. Approved returns may require a restocking fee. Replacement Part sales are final. American Sale reserves the right to accept or decline any return. All opened Intex Pool purchases are final. RETURNS MUST BE MADE WITHIN 30 DAYS OF PURCHASE. DISPLAY ITEMS AND TENT SALE ITEMS ARE "AS IS" AND FINAL DEPOSITS ON LAYAWAY SALES WILL HOLD THE SALE PRICE, BUT



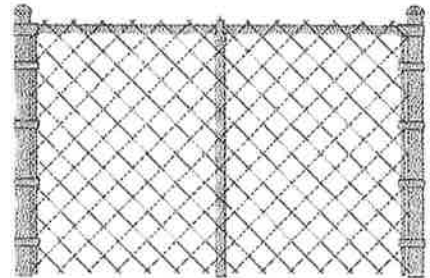
Estimated Price: \$1,567.24*

*Today's estimated price, future pricing may go up or down. Tax, labor, and delivery not included.

This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions. MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF THE WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS.

Fence Information

48" High, 12-1/2 Gauge, Standard Chain-Linked Fence
Regular 10'-6" Top Rails
6' Long Terminal Posts
6' Long Line Posts
Stretcher Bar To Help With Installation
Tension Wire to Add Stability



Footing Information

Fast Set Concrete Footing For Terminal Posts
Fast Set Concrete Footing For Line Posts

Fast Set Concrete
Mix - 50 lbs



Gate Information

3 - 48"H X 61"W Walk Gates

Estimated Price: \$1,567.24*

*Today's estimated price, future pricing may go up or down. Tax, labor, and delivery not included.

This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions. MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST BECAUSE OF THE WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS.

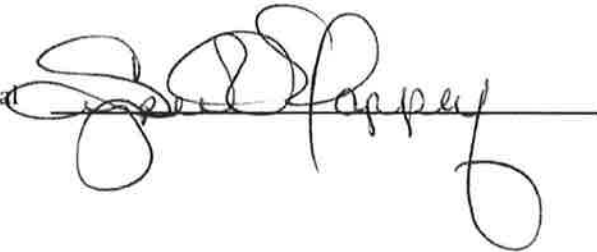
NOTICE

A certificate of occupancy and compliance must be issued prior to occupancy of all new structures, additions and for change of use.

	FEES		FEES
Building Plan review Fee	\$ 75	Capacity Expansion Fee	\$
Building Permit Fee	\$ 55	Water Meter fee	\$
Building Inspection Fee	\$ 330	Water Tap Fee	\$
Electrical Fee	\$	Sewer Tap Fee	\$
Plumbing Fee	\$	Other	\$
Sign Fee	\$	Other	\$
Certificate of Occupancy	\$	Bond	\$
Village Impact Fee	\$	Total Fee	\$
Park District impact Fee	\$	(minus deposit)	\$
Fire District impact Fee (paid)		BALANCE DUE	\$ 460 ⁰⁰
School Impact Fee (paid)			

A PERMIT FOR THIS WORK IS HEREBY AUTHORIZED

Building Official



Date

10.1.17

0-23-17 (SAR)

Date Received by
Com. Dev. Dept.



Village of Elwood
Established 1889
Proud of our past. Building our future.

P.O. Box 435, Elwood, IL 60421
Tel: (815)423-5011 - Fax: (815)423-6861

2017-07-01

Permit Number

10-1-17

Date Issued

APPLICATION FOR BUILDING PERMIT

OWNER

Job Address	129 BayBury DR. Unit A Elwood, IL 60421	Lot	21
Name		Block	
Address	129 BayBury DR. Unit A	Unit	A
City/Zip	Elwood, IL 60421	Sub'd.	MeadowBROOK
Telephone	815-955-0196 Fax	Tax No.	
Project Description	above ground pool, deck & Fence	Zoning	
		Valuation	\$9,522 ⁰⁰ Sq. Footage

The Village of Elwood requires all contractors and sub-contractors to register with the Village and pay the current registration fee and provide a certificate of insurance and bond requirements. Roofing and plumbing contractors are to provide a State of Illinois license. Electricians are to provide a license.

Architect	Address	Ph.	Fx.
General	Address	Ph.	Fx.
Excavator	Address	Ph.	Fx.
Concrete	Address	Ph.	Fx.
Carpenter	Address	Ph.	Fx.
Brick Mason	Address	Ph.	Fx.
Plumber	Address	Ph.	Fx.
Sewer & Water	Address	Ph.	Fx.
Electrician	Address	Ph.	Fx.
Heating	Address	Ph.	Fx.
Roofing	Address	Ph.	Fx.
Insulator	Address	Ph.	Fx.
Asphalt	Address	Ph.	Fx.
Siding	Address	Ph.	Fx.
Other	Address	Ph.	Fx.
Other	Address	Ph.	Fx.

CONDITIONS OF PERMIT

In consideration of this application and attached forms being made a part thereof and the issuance of permit, I will conform to the regulations set forth in the Village of Elwood codes and ordinances.
I also agree that all work performed under said permit will be in accordance with the plans and specifications which accompany this application, except for such changes as may be authorized or required by the Building Official.

All inspections require a MINIMUM 48 hour notice.

Call 815-423-5011

Inspection required prior to placement of concrete.

Applicants required to notify J.U.L.I.E.

Call 1-800/892-0123 prior to digging.

Signature of Agent

Justine Domke

Print Name

Justine Domke



June 1, 2017

129 Baybury Drive Unit A
Elwood, IL 60421

Building Permit for Installation of an Above Ground Swimming Pool & Fence – 129 Baybury Drive

Permit Number: 2017-06-01

On June 1, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further concerns in regards to the the above ground pool placement or installation.

This letter serves as an approval for above ground pool installation at 129 Baybury Drive Unit A. Upon payment of the permit fee in the amount of \$460.00, the applicant will be issued a permit which is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 12/01/2017. The following conditions apply to permit approval:

- 1) Construction and work shall be installed so that the pool installation will not interfere with drainage. All construction work shall be at an elevation relative to the foundation wall so that water will drain away from the structure on all sides and off the lot in a manner which will provide reasonable freedom from erosion and permanently pocketed surface water.
- 2) Required Inspections:
 - a. Pool
 - i. Pool Locate Inspection
 - ii. Underground Electrical Inspection (before backfill)
 - iii. Final Pool
 - iv. Final Electrical
 - b. Fence
 - i. Post-hole Inspection (pre-concrete)
 - ii. Final Fence
- 3) The applicant is responsible for notifying the Village of Elwood when ready for inspections. All inspections require a minimum two business day notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, I can be reached at (815) 424-1091, or via email at syreeta.slappey@villageofelwood.com.

Sincerely,

A handwritten signature in black ink, appearing to read "Syreeta Slappey".

Syreeta Slappey
Permit Technician

MISCELLANEOUS PLAN REVIEW

Municipality: Village of Elwood

Owner/Occupant: _____

Site address: 129 Baybury Unit A

Applicants name: _____ Applicant's telephone: 815.955.0194

Type of review: Above Ground Pool installation w/fence

B & F Plan Review Project Number: _____

B & F Inspection number: 1349

Municipal permit number: _____

Other dept./consultant approval: _____ ☐ N/A

☒ Comply ☐ Not comply ☐ Comply with notes

Comments: Required inspections

Pool = 1. post locate pre-pool S&T.

2. Under ground Electrical before backfill

3. Final pool

4. Final Electrical

Required inspections

Fence = 1. post hole inspection - pre-Concrete

2. Final fence

Plan Reviewer: Mike Shays Date: _____

Fees: Plan Review: \$ 7500 Inspections: \$ _____

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 424-1074 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-06-01

ISSUE DATE: June 1, 2017

EXP. DATE: December 1, 2017

PROPERTY ADDRESS: 129 Baybury Drive, Unit A
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Install a 27' round above ground swimming pool with 4' Fence in the rear yard.

CONTRACTOR INFORMATION

Contractor Company: S&S Construction Concepts

Main Contact: Barb

Phone Number: (708) 704-4388

REQUIRED INSPECTIONS

- | | |
|--|--|
| <input type="checkbox"/> Pool Locate Inspection | <input type="checkbox"/> Final Electrical Inspection |
| <input type="checkbox"/> Underground Electrical (before back-fill) | <input type="checkbox"/> Post-hole Inspection |
| <input type="checkbox"/> Final Pool Inspection | <input type="checkbox"/> Final Fence Inspection |

APPROVAL SIGNATURE

Syreeta Slappey, Permit Technician

June 1, 2017

129 Baybury Drive Unit A
Elwood, IL 60421

Building Permit for Installation of an Above Ground Swimming Pool & Fence – 129 Baybury Drive

Permit Number: 2017-06-01

On June 1, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further concerns in regards to the the above ground pool placement or installation.

This letter serves as an approval for above ground pool installation at 129 Baybury Drive Unit A. Upon payment of the permit fee in the amount of \$460.00, the applicant will be issued a permit which is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 12/01/2017. The following conditions apply to permit approval:

- 1) Construction and work shall be installed so that the pool installation will not interfere with drainage. All construction work shall be at an elevation relative to the foundation wall so that water will drain away from the structure on all sides and off the lot in a manner which will provide reasonable freedom from erosion and permanently pocketed surface water.
- 2) Required Inspections:
 - a. Pool
 - i. Pool Locate Inspection
 - ii. Underground Electrical Inspection (before backfill)
 - iii. Final Pool
 - iv. Final Electrical
 - b. Fence
 - i. Post-hole Inspection (pre-concrete)
 - ii. Final Fence
- 3) The applicant is responsible for notifying the Village of Elwood when ready for inspections. All inspections require a minimum two business day notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, I can be reached at (815) 424-1091, or via email at syreeta.slaphey@villageofelwood.com.

Sincerely,



Syreeta Slaphey
Permit Technician

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 424-1074 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-05-05

ISSUE DATE: May 24, 2017

EXP. DATE: November 24, 2017

PROPERTY ADDRESS: 906 Laurel Drive
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Removal of existing driveway & added space. Excavation of existing drive & dirt for expanding area CA-6 Stone brought in Grading stone & Compacting 2" Surface Course Asphalt. Site work ---1330sq ft

CONTRACTOR INFORMATION

Contractor Company: Conte Paving

Main Contact: Romano Conte

Phone Number: (815) 791-7063

REQUIRED INSPECTIONS

☐ Pre-pour Asphalt Inspection

☐ Final Inspection

APPROVAL SIGNATURE


Syreeta Slappey, Permit Technician

From: Jim Maas ROCFELA rocfela@hotmail.com
 Subject: Print
 Date: Today at 10:40 AM
 To: Jim Maas ROCFELA rocfela@hotmail.com



Bus. Ph: (815) 439-0660 Shop: (815) 723-0660 Fax: (815) 439-0660

Contract Estimate

Date	Estimate No.
04/27/17	2026

Name/Address
906 Laurel Dr. Elwood, IL. 60421

Terms	Project		
Upon Completion of...	Trisha Maas		
Description	Quantity	Cost	Total
Remove and Replace existing drive and added space			
Excavation of existing drive and dirt for expanding area		0.00	0.00
CA-6 Stone brought in		0.00	0.00
Grading stone and Compacting		0.00	0.00
2" Surface Course Asphalt		0.00	0.00
Site Work ~1330 sqft		4,140.00	4,140.00
Any Questions Please Call Romano Conte Cell: 815-791-7063		Total	\$4,140.00

Signature _____

Date _____

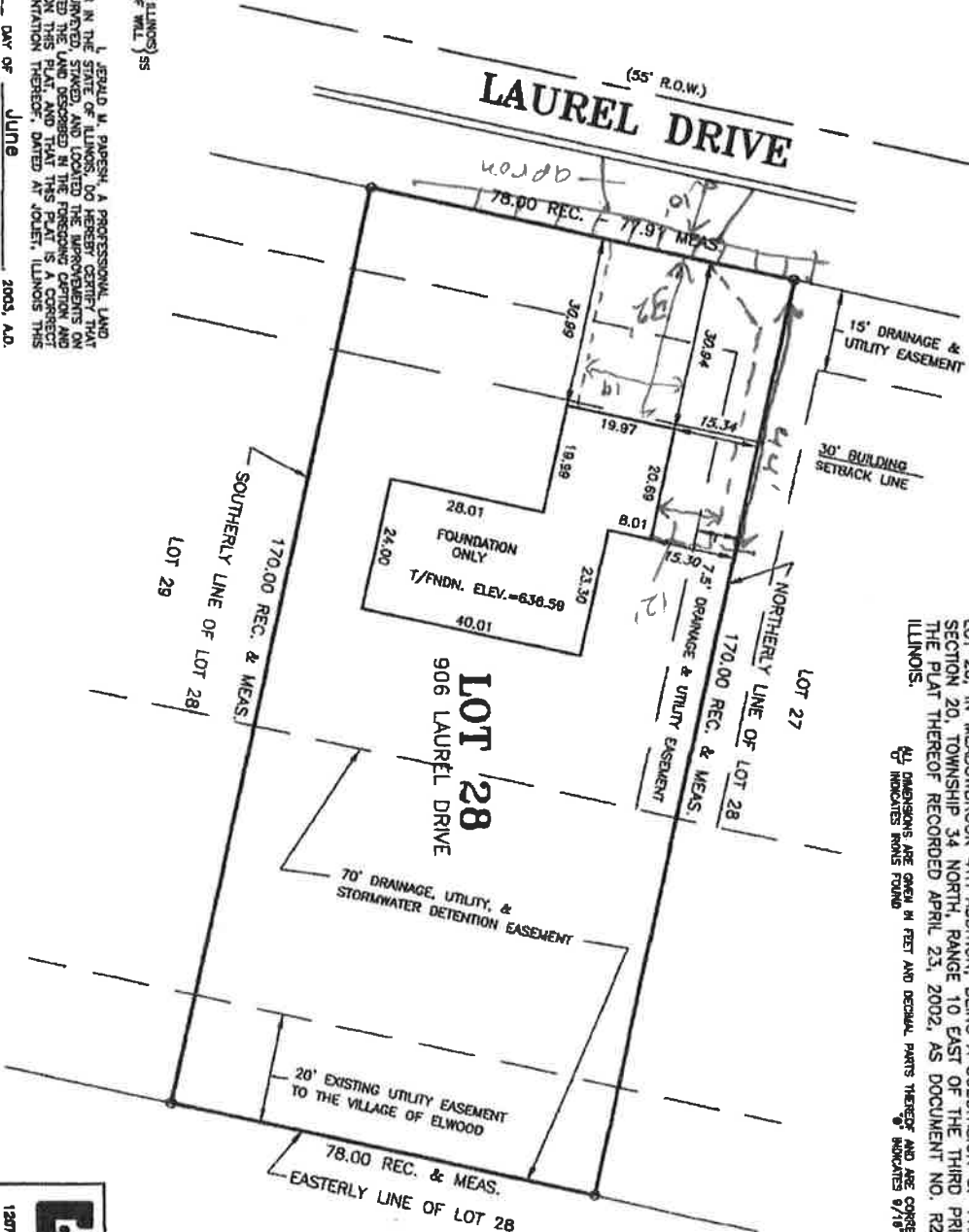
Payment after receipt of invoice shall be made within 30 days - Payments made after 30 days will be subject to 1.5% interest per month - 18% per annum - Buyer shall also assume payment of all necessary attorney and collection expenses.

PLAT OF SURVEY

LOT 28, IN MEADOWBROOK 4TH ADDITION, BEING A SUBDIVISION OF PART OF THE NORTH HALF OF SECTION 20, TOWNSHIP 34 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 23, 2002, AS DOCUMENT NO. R2002-68994, IN WILL COUNTY, ILLINOIS.

ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF AND ARE CORRECT AS PER FIELDWORK. DIMENSIONS INDICATED BY 1/8" X 3/8" FROM ROD SET

SCALE 1" = 20'



STATE OF ILLINOIS)
COUNTY OF WILL) SS
I, JERALD M. PAPESH, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF ILLINOIS, DO HEREBY CERTIFY THAT I HAVE SURVEYED, STAKED, AND LOCATED THE IMPROVEMENTS ON AND PLATTED THE LAND DESCRIBED IN THE FOREGOING CAPTION AND SHOWN ON THIS PLAT, AND THAT THIS PLAT IS A CORRECT REPRESENTATION THEREOF, DATED AT JOLETT, ILLINOIS THIS 20th DAY OF June 2003, A.D.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2282

GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS

1207 MEADOWBROOK DRIVE JOLETT, ILLINOIS 60438 815/720-1010

PROJECT: HOMES BY CHALDEN FIELD BOOK # H 34 10 57

DRAWN BY: WJ DATE: 6/20/03 SCALE: 1"=20' JOB NO. 12310

COMPARE THIS PLAT WITH YOUR RECORDS AND IMMEDIATELY REPORT ANY DISCREPANCIES

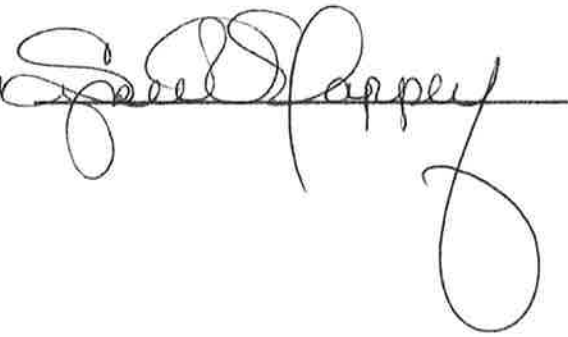
NOTICE

A certificate of occupancy and compliance must be issued prior to occupancy of all new structures, additions and for change of use.

	FEES		FEES
Building Plan review Fee	\$ 25	Capacity Expansion Fee	\$
Building Permit Fee	\$ 125	Water Meter fee	\$
Building Inspection Fee 2(155)	\$ 110	Water Tap Fee	\$
Electrical Fee	\$	Sewer Tap Fee	\$
Plumbing Fee	\$	Other	\$
Sign Fee	\$	Other	\$
Certificate of Occupancy	\$	Bond	\$
Village Impact Fee	\$	Total Fee	\$
Park District impact Fee	\$	(minus deposit)	\$
Fire District impact Fee (paid)		BALANCE DUE	\$ 260 ⁰⁰
School Impact Fee (paid)			

A PERMIT FOR THIS WORK IS HEREBY AUTHORIZED

Building Official



Date

5.24.17

8.1.17818

Date Received by
Com. Dev. Dept.



Village of Elwood
Established 1889
Proud of our past, Building our future.

P.O. Box 435, Elwood, IL 60421
Tel: (815)423-5011 - Fax: (815)423-6861

2017.05.05
Permit Number
5.24.17
Date Issued

APPLICATION FOR BUILDING PERMIT

OWNER

Job Address	906 Laurel Dr
Name	
Address	906 Laurel Drive
City/Zip	Elwood 60421
Telephone	815 325 0910 Fax
Project Description	Repairing driveway +

Lot	28 in meadowbrook 4th addition
Block	
Unit	
Sub'd.	meadowbrook
Tax No.	10-11-20-202-026-0000
Zoning	
Valuation	24/140.00
Sq. Footage	Estimate for paving

The Village of Elwood requires all contractors and sub-contractors to register with the Village and pay the current registration fee and provide a certificate of insurance and bond requirements. Roofing and plumbing contractors are to provide a State of Illinois license. Electricians are to provide a license.

Architect	Address	Ph.	Fx.
General	Address	Ph.	Fx.
Excavator	Address	Ph.	Fx.
Concrete	Address	Ph.	Fx.
Carpenter	Address	Ph.	Fx.
Brick Mason	Address	Ph.	Fx.
Plumber	Address	Ph.	Fx.
Sewer & Water	Address	Ph.	Fx.
Electrician	Address	Ph.	Fx.
Heating	Address	Ph.	Fx.
Roofing	Address	Ph.	Fx.
Insulator	Address	Ph.	Fx.
Asphalt	Address 3820 Squire's Mill Rd	Ph. 815 723 0660	Fx. 815 439 0660
Siding	Address Joliet, IL 60431	Ph.	Fx.
Other	Address	Ph.	Fx.
Other	Address	Ph.	Fx.

CONDITIONS OF PERMIT

In consideration of this application and attached forms being made a part thereof and the issuance of permit, I will conform to the regulations set forth in the Village of Elwood codes and ordinances.

I also agree that all work performed under said permit will be in accordance with the plans and specifications which accompany this application, except for such changes as may be authorized or required by the Building Official.

All inspections require a MINIMUM 48 hour notice.

Call 815-423-5011

Inspection required prior to placement of concrete.

Applicants required to notify J.U.L.I.E.

Call 1-800/892-0123 prior to digging.

Signature of Agent

J. J. M. W.

Print Name

MISCELLANEOUS PLAN REVIEW

Municipality: Yillbore of Elwood

Owner/Occupant: _____

Site address: 906 Laurel Drive

Applicants name: _____ Applicant's telephone: 815 325 0960

Type of review: Repariner Driveway

B & F Plan Review Project Number: _____

B & F Inspection number: 1349

Municipal permit number: _____

Other dept./consultant approval: _____ ☐ N/A

☒ Comply

☐ Not comply

☐ Comply with notes

Comments: Required Inspections

1. pre-par Drive (compact Cab Stone)
2. Final Driveway

NOTE. permit Holder is responsible For
scheduling all inspections

Post permit in window so as to be seen from
The Street

Plan Reviewer: Mishay Date: 5-24-17

Fees: Plan Review: \$ 2500 Inspections: \$ _____

Sheet 1 of 1

May 24, 2017

906 Laurel Drive
Elwood, IL 60421

Building Permit for Installation of an Expanded Asphalt Driveway – 906 Laurel Drive

Permit Number: 2017-05-05

On May 24, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further engineering concerns on the construction drawings or driveway/step placement.

This letter serves as an approval for installation of an expanded asphalt driveway at 906 Laurel Drive. Upon payment of the permit fee in the amount of \$260.00, the applicant will be issued a permit which is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 11/24/2017. The following conditions apply to permit approval:

- 1) Construction and work shall be installed so that the driveway will not interfere with drainage.
- 2) Required Inspections:
 - a. Pre-Pour Drive (compact stone)
 - b. Final Driveway
- 3) The applicant will notify the Village of Elwood when the installation is completed so an inspection can be scheduled. All inspections require a minimum 48-hour notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, I can be reached at (815) 424-1091, or via email at syreeta.slappey@villageofelwood.com.

Sincerely,



Syreeta Slappey
Permit Technician

BUILDING PERMIT

VILLAGE OF ELWOOD COMMUNITY DEVELOPMENT DEPARTMENT

401 EAST MISSISSIPPI AVENUE ♦ PHONE (815) 424-1074 ♦ FAX (815) 423-6861

PERMIT NUMBER: 2017-05-05

ISSUE DATE: May 24, 2017

EXP. DATE: November 24, 2017

PROPERTY ADDRESS: 906 Laurel Drive
Elwood, IL 60421

PROPERTY OWNER:

DESCRIPTION OF PERMITTED WORK

Removal of existing driveway & added space. Excavation of existing drive & dirt for expanding area CA-6 Stone brought in Grading stone & Compacting 2" Surface Course Asphalt. Site work ---1330sq ft

CONTRACTOR INFORMATION

Contractor Company: Conte Paving

Main Contact: Romano Conte

Phone Number: (815) 791-7063

REQUIRED INSPECTIONS

☐ Pre-pour Asphalt Inspection

☐ Final Inspection

APPROVAL SIGNATURE

Syreeta Slaphey, Permit Technician

May 24, 2017

906 Laurel Drive
Elwood, IL 60421

Building Permit for Installation of an Expanded Asphalt Driveway – 906 Laurel Drive

Permit Number: 2017-05-05

On May 24, 2017 I processed a permit application, plans and documentation for the above referenced project. Based on the review of the submitted documentation, I have no further engineering concerns on the construction drawings or driveway/step placement.

This letter serves as an approval for installation of an expanded asphalt driveway at 906 Laurel Drive. Upon payment of the permit fee in the amount of \$260.00, the applicant will be issued a permit which is required to be displayed throughout the time of construction. The building permit is issued for a period of 6 months and will expire on 11/24/2017. The following conditions apply to permit approval:

- 1) Construction and work shall be installed so that the driveway will not interfere with drainage.
- 2) Required Inspections:
 - a. Pre-Pour Drive (compact stone)
 - b. Final Driveway
- 3) The applicant will notify the Village of Elwood when the installation is completed so an inspection can be scheduled. All inspections require a minimum 48-hour notice for scheduling purposes.

If you have any questions or comments regarding this permit or approval conditions, I can be reached at (815) 424-1091, or via email at syreeta.slappey@villageofelwood.com.

Sincerely,



Syreeta Slappey
Permit Technician